

#28

CITY OF SOCORRO MAURO ROSAS PARK IMPROVEMENTS

350 FLOR MORADA
SOCORRO, TEXAS 79927

CITY OF SOCORRO

CITY COUNCIL

SERGIO COX	DISTRICT 1 REPRESENTATIVE
GLORIA RODRIGUEZ	DISTRICT 2 REPRESENTATIVE
VICTOR PEREZ	DISTRICT 3 REPRESENTATIVE
ANTHONY GANDARA	DISTRICT 4 REPRESENTATIVE
RENE RODRIGUEZ	REPRESENTATIVE AT LARGE
<hr/>	
ADRIANA RODARTE	INTERIM CITY MANAGER
JESUS RUIZ	MAYOR

PARKHILL SMITH & COOPER



5011 W. San Antonio
El Paso, Texas 79931
915.833.6871

SET NUMBER: 6



PARKHILL SMITH & COOPER



CITY OF SOCORRO
MAURO ROSAS
PARK
IMPROVEMENTS

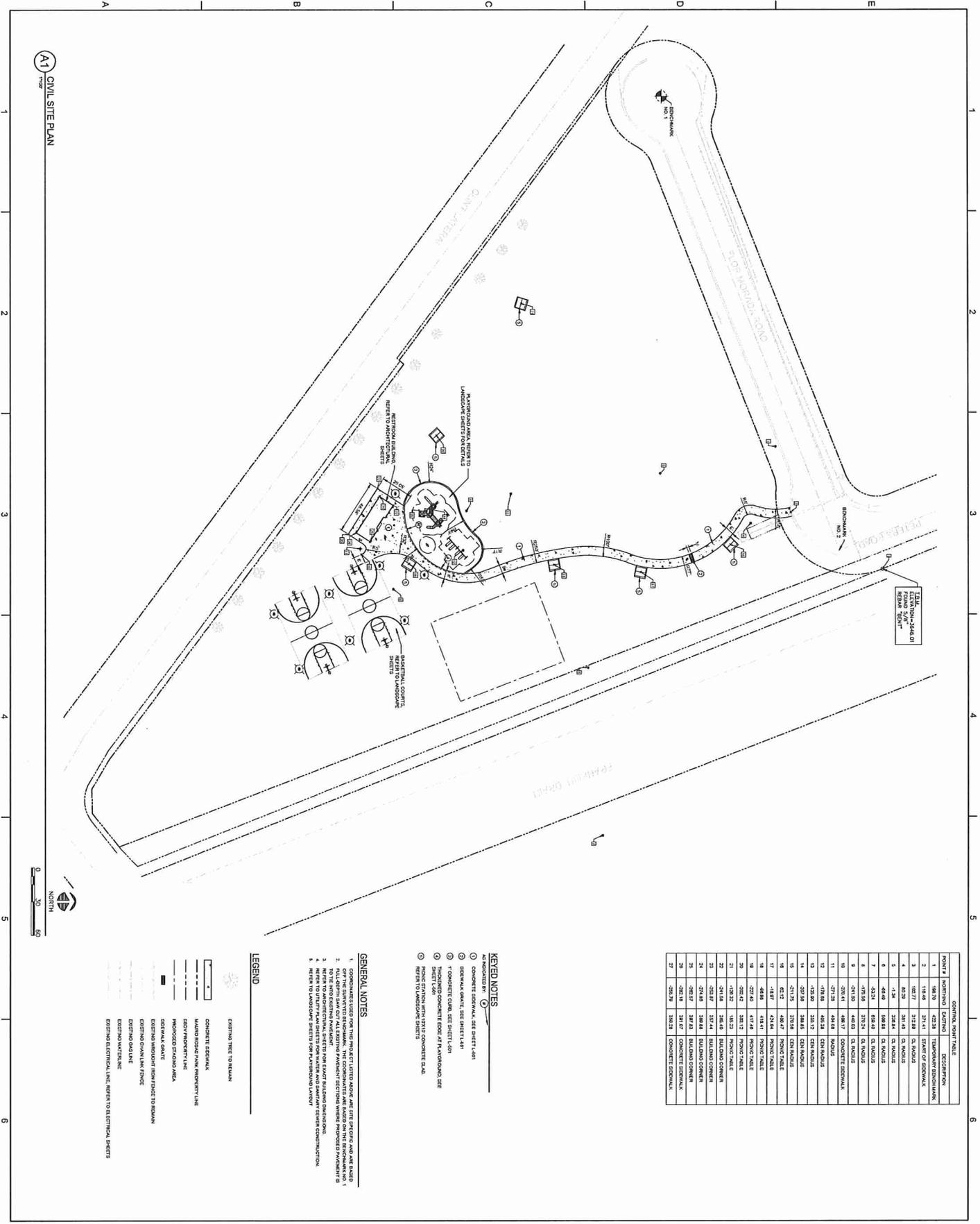
BIDDING DOCUMENTS

350 FLOR MORADA
SOCORRO, TX 79927

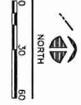
COVER SHEET AND
DRAWING INDEX

G-001

SHEET INDEX	
GENERAL	GENERAL NOTES AND CONDITIONS
CIVIL	GENERAL NOTES AND CONDITIONS
LANDSCAPE	GENERAL NOTES AND CONDITIONS
STRUCTURAL	GENERAL NOTES AND CONDITIONS
MECHANICAL	GENERAL NOTES AND CONDITIONS
ELECTRICAL	GENERAL NOTES AND CONDITIONS
ARCHITECTURAL	GENERAL NOTES AND CONDITIONS
DEMOLITION	GENERAL NOTES AND CONDITIONS



A1 CIVIL SITE PLAN



POINT #	HORIZONTAL ELEVATION	DESCRIPTION
1	181.70	TEMPORARY BENCHMARK
2	184.48	START OF BENCHMARK
3	182.77	CL. MANUS
4	86.29	CL. MANUS
5	-1.24	CL. MANUS
6	46.48	CL. MANUS
7	43.24	CL. MANUS
8	419.26	CL. MANUS
9	281.80	CL. MANUS
10	207.41	CONCRETE BENCHMARK
11	217.81	CONCRETE BENCHMARK
12	217.81	CONCRETE BENCHMARK
13	-132.80	CON. MANUS
14	-207.86	CON. MANUS
15	211.75	CON. MANUS
16	62.12	PROJECT PALE
17	-18.77	PROJECT PALE
18	46.88	PROJECT PALE
19	227.40	PROJECT PALE
20	202.42	PROJECT PALE
21	-108.22	PROJECT PALE
22	241.88	BUILDING CORNER
23	252.46	BUILDING CORNER
24	252.46	BUILDING CORNER
25	-282.37	BUILDING CORNER
26	-282.18	CONCRETE BENCHMARK
27	-282.19	CONCRETE BENCHMARK

- KEYED NOTES**
- 1. CONCRETE BENCHMARK, SEE SHEET L-401
 - 2. BENCHMARK, SEE SHEET L-401
 - 3. CONCRETE CORNER, SEE SHEET L-401
 - 4. THICKENED CONCRETE EDGE AT PLAYGROUND, SEE SHEET L-401
 - 5. REFER TO LANDSCAPE ARCHITECTURE SHEETS FOR LANDSCAPE DETAILS

- GENERAL NOTES**
1. CONCRETE USED FOR THIS PROJECT LITTO ABOVE THE SITE SURFACE AND ARE BUILT OFF THE EXISTING BENCHMARK. THE CONCRETE ARE BUILT ON THE BENCHMARK NO. 1.
 2. REFER TO THE EXISTING PLAYGROUND FOR EXISTING PLAYGROUND DIMENSIONS.
 3. REFER TO THE EXISTING PLAYGROUND FOR EXISTING PLAYGROUND DIMENSIONS.
 4. REFER TO THE EXISTING PLAYGROUND FOR EXISTING PLAYGROUND DIMENSIONS.
 5. REFER TO LANDSCAPE ARCHITECTURE SHEETS FOR PLAYGROUND LAYOUT

- LEGEND**
- EXISTING TREE TO REMAIN
 - CONCRETE BENCHMARK
 - MAJOR ROAD RIGHT-OF-WAY PROPERTY LINE
 - EXISTING PROPERTY LINE
 - PROPOSED STRAIGHT AREA
 - EXISTING GRATE
 - EXISTING WOODEN FENCE TO REMAIN
 - EXISTING CHAIN LINK FENCE
 - EXISTING DASH LINE
 - EXISTING WATERLINE
 - EXISTING ELECTRICAL LINE, REFER TO ELECTRICAL SHEETS

PSG
PARKHILL SMITH & COOPER



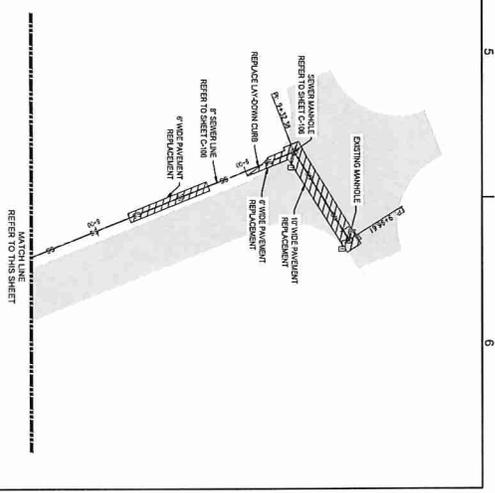
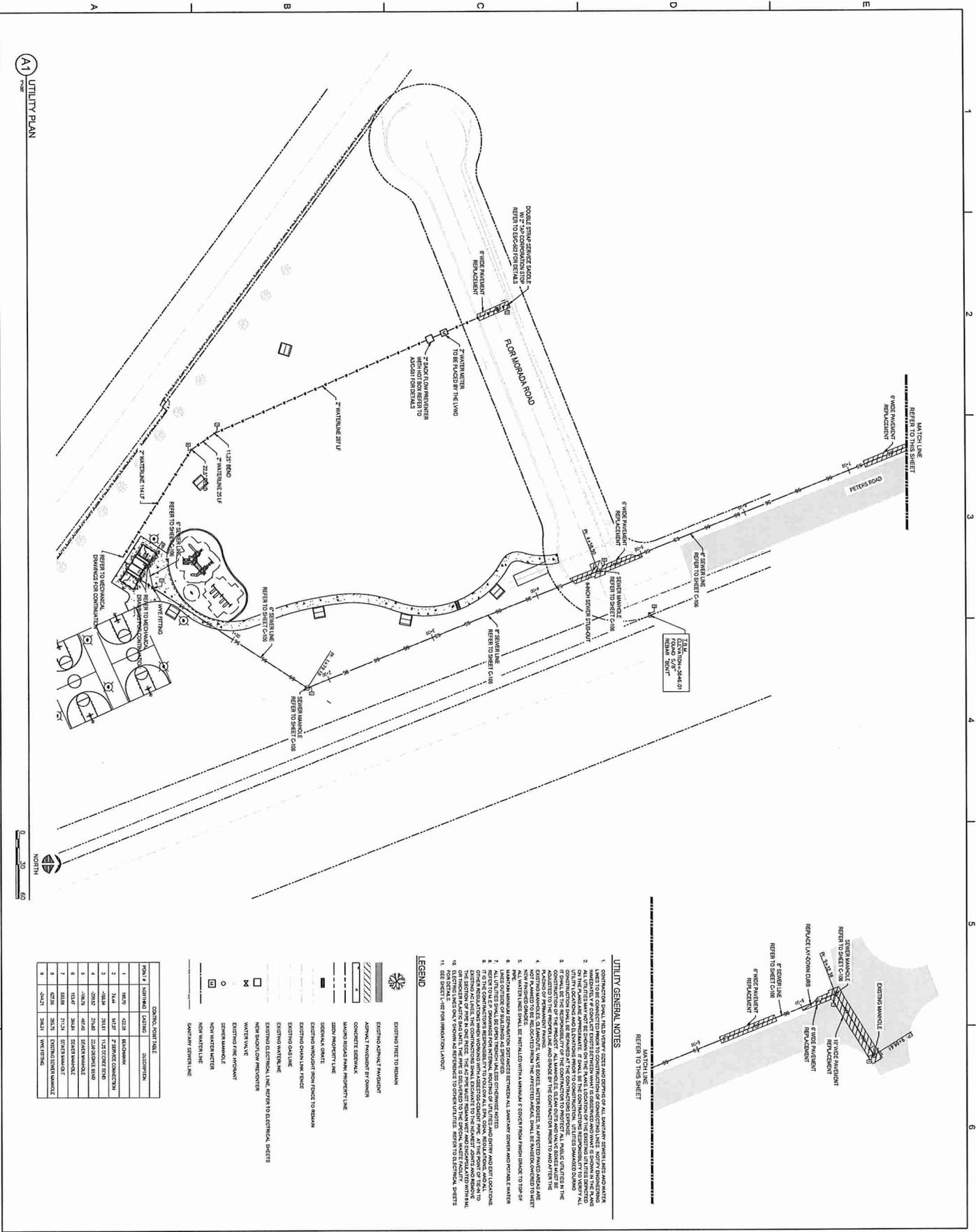
**CITY OF SOCORRO
MAURO ROSAS
PARK
IMPROVEMENTS**

BIDDING DOCUMENTS

380 ELOR NORADA
SOCORRO, TX 79927

DATE	11/11/13
REVISION	
DESCRIPTION	
BY	
CHECKED	
APPROVED	
DATE	

C-102
CIVIL
SITE PLAN



UTILITY GENERAL NOTES

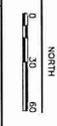
1. CONTRACTOR SHALL VERIFY ALL UTILITIES SHOWN ON THIS PLAN AND ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE CITY OF SOCORRO AND THE UTILITY COMPANIES.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE CITY OF SOCORRO AND THE UTILITY COMPANIES.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE CITY OF SOCORRO AND THE UTILITY COMPANIES.
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11. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE CITY OF SOCORRO AND THE UTILITY COMPANIES.

LEGEND

- EXISTING TREE TO REMAIN
- EXISTING ASPHALT PAVEMENT
- ASPHALT PAVEMENT BY OWNER
- CONCRETE SIDEWALK
- MAINTENANCE ROAD PROPERTY LINE
- SEWER PROPERTY LINE
- SEWER MAIN
- EXISTING WALKWAY FROM FENCE TO ROAD
- EXISTING CHAIN LINK FENCE
- EXISTING DRAIN LINE
- EXISTING WATER LINE
- NEW DRAINAGE PREVENTER
- WATER VALVE
- EXISTING FIRE HYDRANT
- SEWER MANHOLE
- NEW WATER METER
- NEW WATER LINE
- SEWER MANHOLE

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMITS	02/28/2018	BRUCE WALKER
2	ISSUED FOR PERMITS	03/01/2018	BRUCE WALKER
3	ISSUED FOR PERMITS	03/01/2018	BRUCE WALKER
4	ISSUED FOR PERMITS	03/01/2018	BRUCE WALKER
5	ISSUED FOR PERMITS	03/01/2018	BRUCE WALKER
6	ISSUED FOR PERMITS	03/01/2018	BRUCE WALKER
7	ISSUED FOR PERMITS	03/01/2018	BRUCE WALKER
8	ISSUED FOR PERMITS	03/01/2018	BRUCE WALKER
9	ISSUED FOR PERMITS	03/01/2018	BRUCE WALKER

UTILITY PLAN





CITY OF SOCORRO
MAURO ROSAS
PARK IMPROVEMENTS

BIDDING DOCUMENTS

350 FLOR MORADA
SOCORRO, TX 79827



PS&C
PARKHILL SMITH & COOPER

C-105

UTILITY PLAN

DATE: 02/28/2018

PROJECT NO: 18-001

SCALE: AS SHOWN



**CITY OF SOCORRO
 MAURO ROSAS
 PARK
 IMPROVEMENTS**

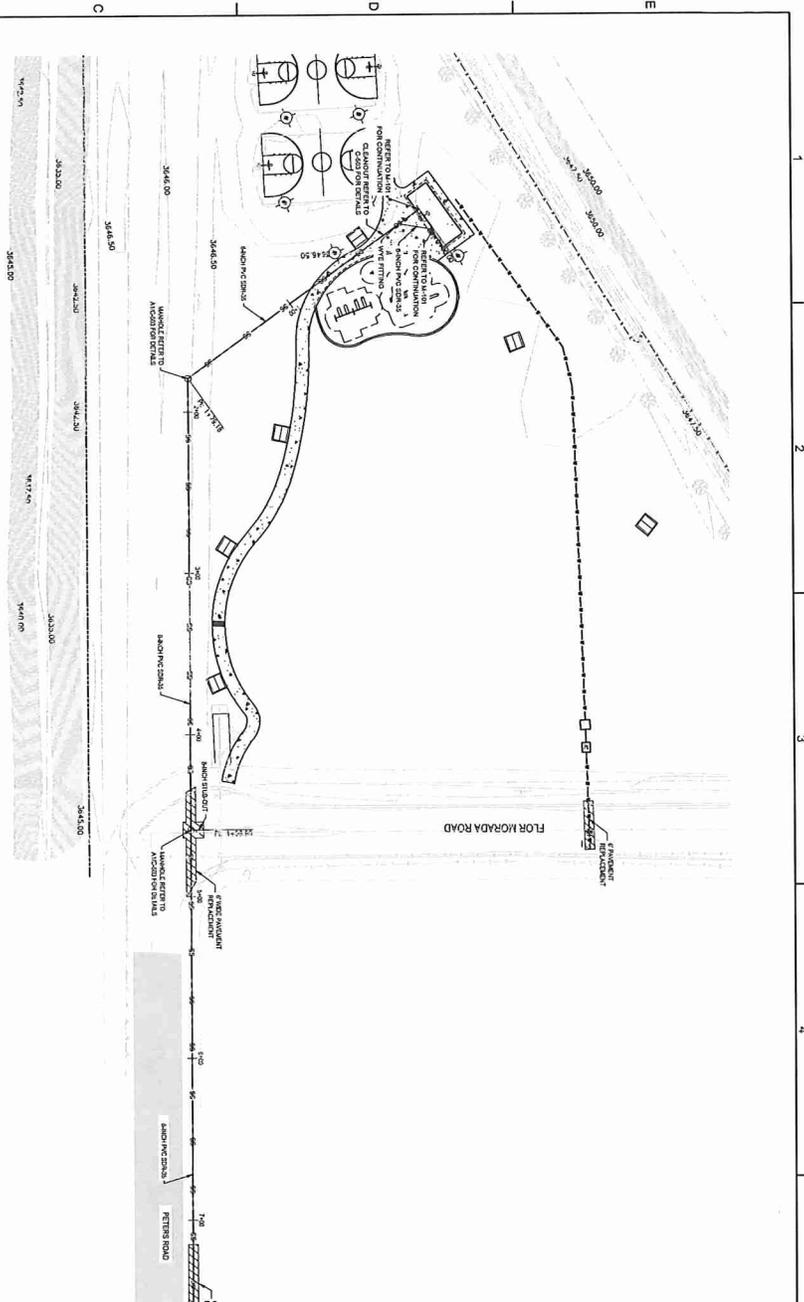
BIDDING DOCUMENTS

350 FLOOR MORADA,
 SOCORRO, TX 78827

**SEWER LINE
 PLAN & PROFILE**

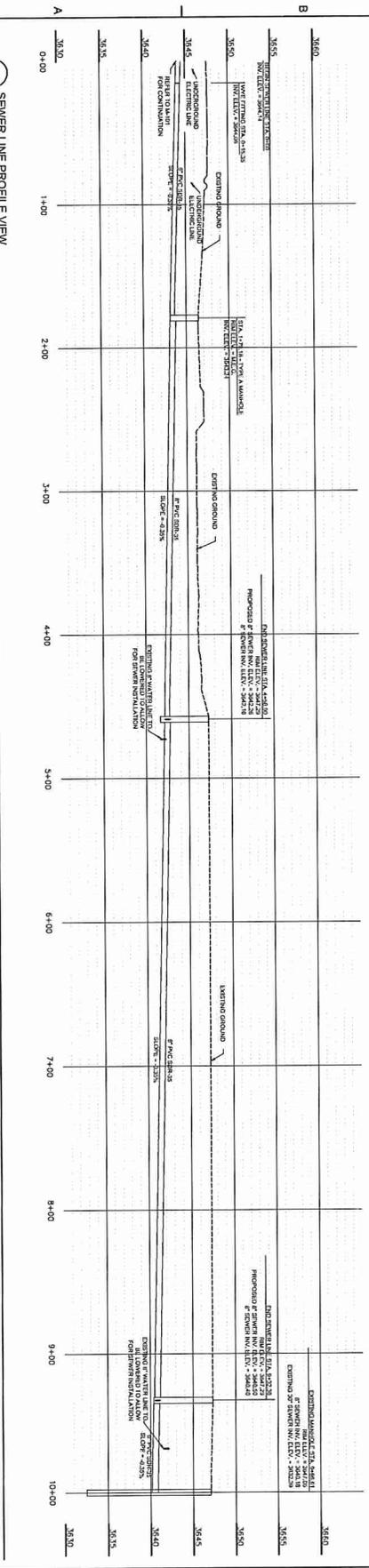
C-106

- UTILITY GENERAL NOTES**
- CONTRACTOR SHALL FIELD VERIFY SIZE AND DEPTH OF ALL EXISTING UTILITY LINES AND WATER MAINS AND LOCATE EXISTING UTILITY LINES TO BE DELETED AND WHAT IS SHOWN IN THE PLANS IS APPROXIMATE. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITY LINES AND WATER MAINS AND LOCATE EXISTING UTILITY LINES TO BE DELETED AND WHAT IS SHOWN IN THE PLANS IS APPROXIMATE. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITY LINES AND WATER MAINS AND LOCATE EXISTING UTILITY LINES TO BE DELETED AND WHAT IS SHOWN IN THE PLANS IS APPROXIMATE.
 - ALL UTILITY LINES SHALL BE DELETED AND WHAT IS SHOWN IN THE PLANS IS APPROXIMATE. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITY LINES AND WATER MAINS AND LOCATE EXISTING UTILITY LINES TO BE DELETED AND WHAT IS SHOWN IN THE PLANS IS APPROXIMATE.
 - ALL UTILITY LINES SHALL BE DELETED AND WHAT IS SHOWN IN THE PLANS IS APPROXIMATE. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITY LINES AND WATER MAINS AND LOCATE EXISTING UTILITY LINES TO BE DELETED AND WHAT IS SHOWN IN THE PLANS IS APPROXIMATE.
 - IF SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL UTILITY LINES IN THE AREA AND TO BE DELETED AND WHAT IS SHOWN IN THE PLANS IS APPROXIMATE. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITY LINES AND WATER MAINS AND LOCATE EXISTING UTILITY LINES TO BE DELETED AND WHAT IS SHOWN IN THE PLANS IS APPROXIMATE.
 - CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITY LINES AND WATER MAINS AND LOCATE EXISTING UTILITY LINES TO BE DELETED AND WHAT IS SHOWN IN THE PLANS IS APPROXIMATE.
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 - CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITY LINES AND WATER MAINS AND LOCATE EXISTING UTILITY LINES TO BE DELETED AND WHAT IS SHOWN IN THE PLANS IS APPROXIMATE.
 - CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITY LINES AND WATER MAINS AND LOCATE EXISTING UTILITY LINES TO BE DELETED AND WHAT IS SHOWN IN THE PLANS IS APPROXIMATE.



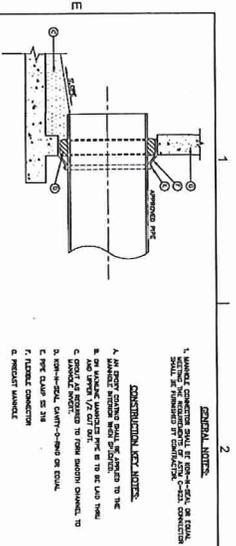
C1 SEWER LINE PLAN VIEW

HORIZ SCALE: 1"=30'
VERT SCALE: 1"=5'



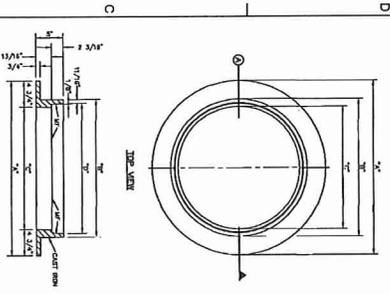
C1 SEWER LINE PROFILE VIEW

NO.	REVISION	DATE
1	ISSUED FOR BIDDING	11/15/15
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	



E) PIPE CONNECTOR TO MANHOLE

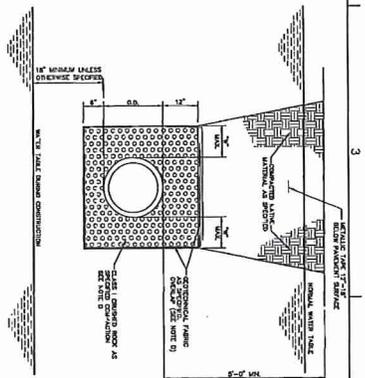
- GENERAL NOTES:**
1. MANHOLE CONNECTOR SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.
- CONSTRUCTION DETAIL NOTES:**
1. MANHOLE CONNECTOR SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.
 2. MANHOLE CONNECTOR SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.
 3. MANHOLE CONNECTOR SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.
 4. MANHOLE CONNECTOR SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.
 5. MANHOLE CONNECTOR SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.
 6. MANHOLE CONNECTOR SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.
 7. MANHOLE CONNECTOR SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.
 8. MANHOLE CONNECTOR SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.
 9. MANHOLE CONNECTOR SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.
 10. MANHOLE CONNECTOR SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.



C) SEWER MANHOLE RING

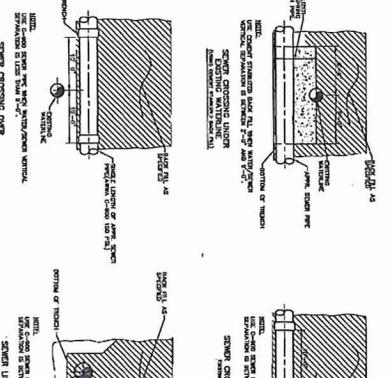
NO.	SIZE	TYPE	NO. PER MANHOLE
1	18" DIA.	CONCRETE	1
2	18" DIA.	CONCRETE	1
3	18" DIA.	CONCRETE	1
4	18" DIA.	CONCRETE	1
5	18" DIA.	CONCRETE	1
6	18" DIA.	CONCRETE	1
7	18" DIA.	CONCRETE	1
8	18" DIA.	CONCRETE	1
9	18" DIA.	CONCRETE	1
10	18" DIA.	CONCRETE	1

- GENERAL NOTES:**
1. MANHOLE RINGS SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.
 2. MANHOLE RINGS SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.

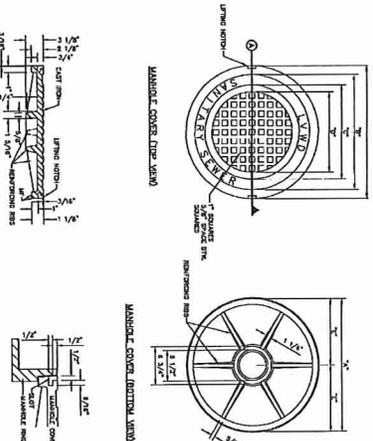


B) WATER SEWER LINE CROSSING

- GENERAL NOTES:**
1. MANHOLE COVER SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.
- CONSTRUCTION DETAIL NOTES:**
1. MANHOLE COVER SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.
 2. MANHOLE COVER SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.
 3. MANHOLE COVER SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.
 4. MANHOLE COVER SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.
 5. MANHOLE COVER SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.
 6. MANHOLE COVER SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.
 7. MANHOLE COVER SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.
 8. MANHOLE COVER SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.
 9. MANHOLE COVER SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.
 10. MANHOLE COVER SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.

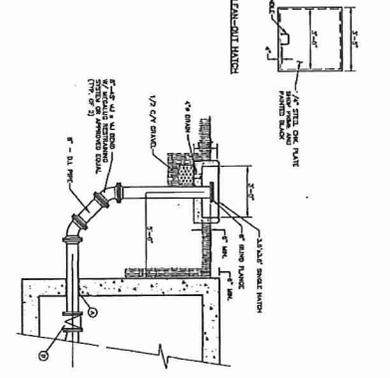


A) SEWER MANHOLE COVER



NO.	SIZE	TYPE	NO. PER MANHOLE
1	18" DIA.	CONCRETE	1
2	18" DIA.	CONCRETE	1
3	18" DIA.	CONCRETE	1
4	18" DIA.	CONCRETE	1
5	18" DIA.	CONCRETE	1
6	18" DIA.	CONCRETE	1
7	18" DIA.	CONCRETE	1
8	18" DIA.	CONCRETE	1
9	18" DIA.	CONCRETE	1
10	18" DIA.	CONCRETE	1

- GENERAL NOTES:**
1. MANHOLE RINGS SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.
 2. MANHOLE RINGS SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.



D) CLEANOUT/FLUSHING DETAIL

- GENERAL NOTES:**
1. CLEANOUT/FLUSHING DETAIL SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.
- CONSTRUCTION DETAIL NOTES:**
1. CLEANOUT/FLUSHING DETAIL SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.
 2. CLEANOUT/FLUSHING DETAIL SHALL BE 60#-40L OR 60#-40L SHALL BE FURNISHED BY CONTRACTOR.



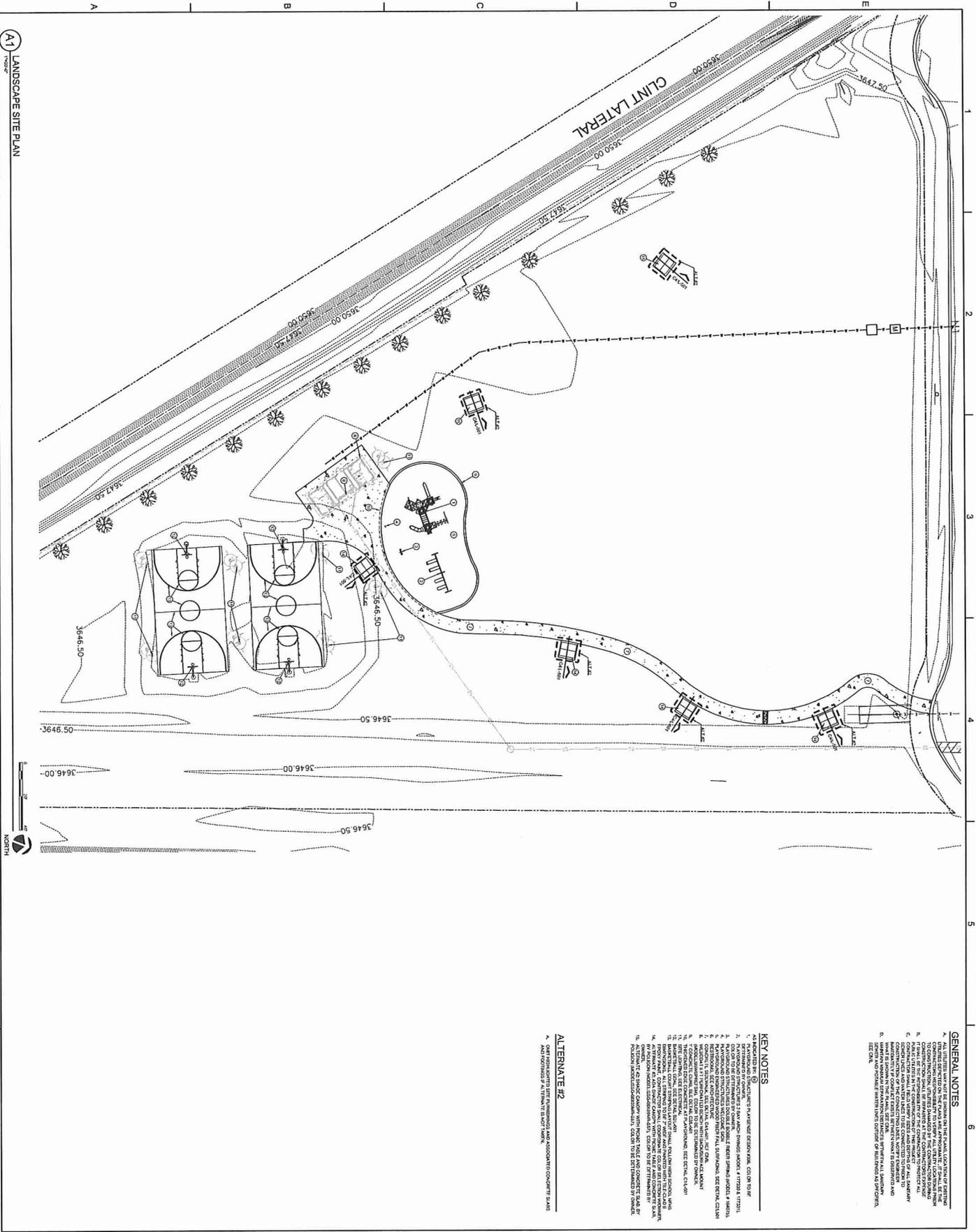
CITY OF SOCORRO
MAURO ROSAS
PARK
IMPROVEMENTS

BIDDING DOCUMENTS

330 FLOO NORADA
 SOCORRO, N.M. 78927

NO.	DESCRIPTION	QUANTITY	UNIT	PRICE
1	SEWER MANHOLE COVER			
2	SEWER MANHOLE RING			
3	SEWER MANHOLE COVER			
4	SEWER MANHOLE RING			
5	SEWER MANHOLE COVER			
6	SEWER MANHOLE RING			
7	SEWER MANHOLE COVER			
8	SEWER MANHOLE RING			
9	SEWER MANHOLE COVER			
10	SEWER MANHOLE RING			

C-503



GENERAL NOTES

1. ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE RECORD DRAWINGS OF EXISTING UTILITIES AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY ALL UTILITIES LOCATIONS AND DEPTHS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

KEY NOTES

1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE CANAL UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE PLAY AREA UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE BASKETBALL COURTS UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE BENCHES UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE TREES UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE SLIPSTREAM UNLESS OTHERWISE NOTED.
11. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE TUMBLER UNLESS OTHERWISE NOTED.
12. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE PLAY AREA UNLESS OTHERWISE NOTED.
13. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE BASKETBALL COURTS UNLESS OTHERWISE NOTED.
14. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE BENCHES UNLESS OTHERWISE NOTED.
15. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE TREES UNLESS OTHERWISE NOTED.
16. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE SLIPSTREAM UNLESS OTHERWISE NOTED.
17. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE TUMBLER UNLESS OTHERWISE NOTED.
18. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE PLAY AREA UNLESS OTHERWISE NOTED.
19. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE BASKETBALL COURTS UNLESS OTHERWISE NOTED.
20. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE BENCHES UNLESS OTHERWISE NOTED.

ALTERNATE #2

1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.

2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

4. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.

5. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE CANAL UNLESS OTHERWISE NOTED.

6. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE PLAY AREA UNLESS OTHERWISE NOTED.

7. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE BASKETBALL COURTS UNLESS OTHERWISE NOTED.

8. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE BENCHES UNLESS OTHERWISE NOTED.

9. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE TREES UNLESS OTHERWISE NOTED.

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15. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE TREES UNLESS OTHERWISE NOTED.

16. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE SLIPSTREAM UNLESS OTHERWISE NOTED.

17. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE TUMBLER UNLESS OTHERWISE NOTED.

18. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE PLAY AREA UNLESS OTHERWISE NOTED.

19. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE BASKETBALL COURTS UNLESS OTHERWISE NOTED.

20. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE BENCHES UNLESS OTHERWISE NOTED.

A1 LANDSCAPE SITE PLAN



CITY OF SOCORRO
MAURO ROSAS
PARK
IMPROVEMENTS

BIDDING DOCUMENTS

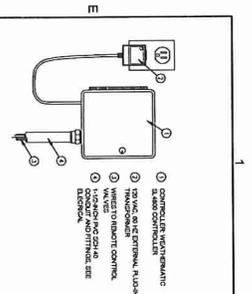
380 FLOIN MORADA
SOCORRO, TX 78927



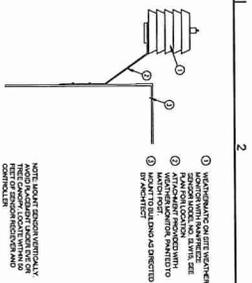
PSG
PARKHILL SMITH & COOPER

LANDSCAPE SITE PLAN

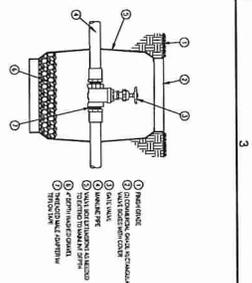
L-101



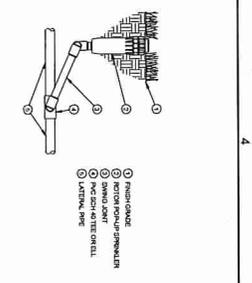
E1 IRRIGATION CONTROLLER
 1/2" NPT



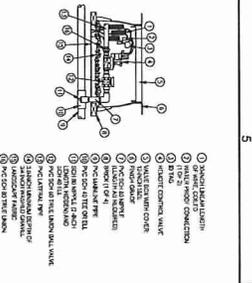
E2 ET SENSOR
 1/2" NPT



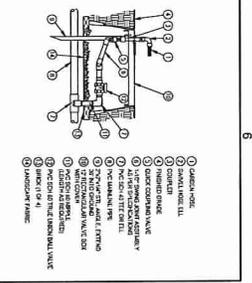
E3 ISOLATION GATE VALVE
 1 1/2" NPT



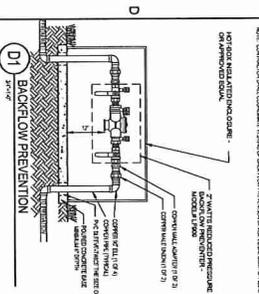
E4 IRRIGATION MOTOR
 1/2" NPT



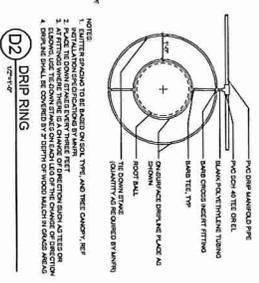
E5 VALVE DETAIL
 1/2" NPT



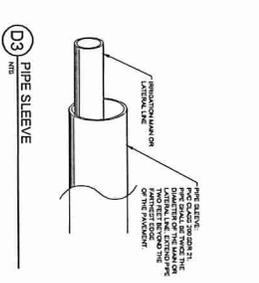
E6 QUICK COUPLER
 1/2" NPT



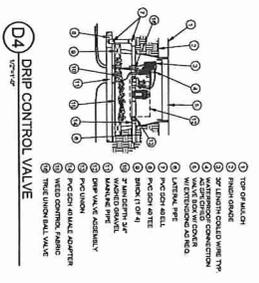
D1 BACKFLOW PREVENTION
 1/2" NPT



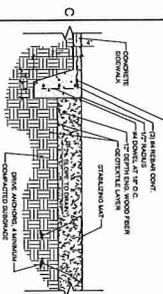
D2 DRIP RING
 1/2" NPT



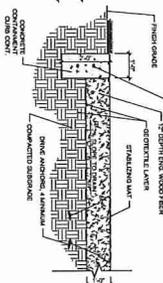
D3 PIPE SLEEVE
 1/2" NPT



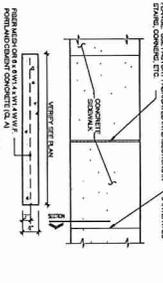
D4 DRIP CONTROL VALVE
 1/2" NPT



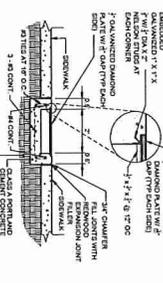
C1 SIDEWALK AT PLAYGROUND
 1/2" NPT



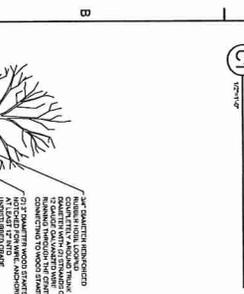
C2 CURB WITH ENGINEERED WOOD FIBER
 1/2" NPT



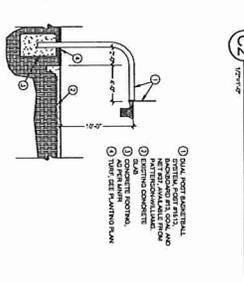
C4 CONCRETE SIDEWALK
 1/2" NPT



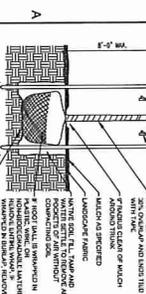
C5 TRENCH GRATE
 1/2" NPT



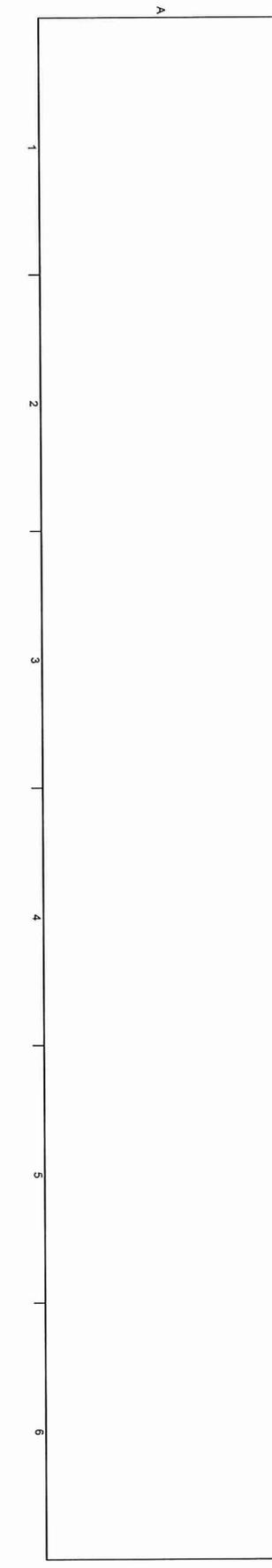
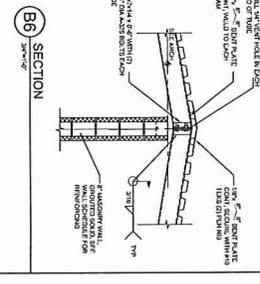
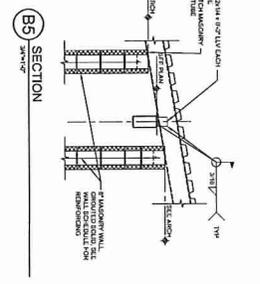
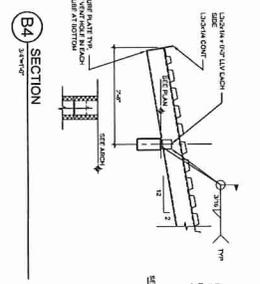
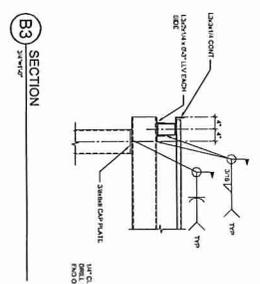
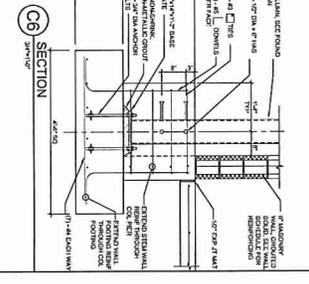
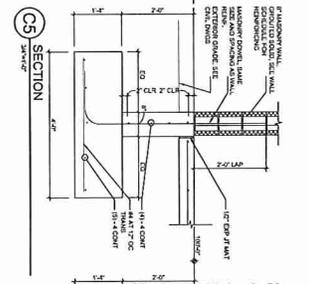
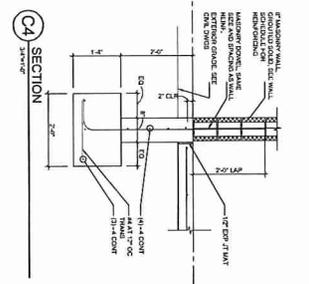
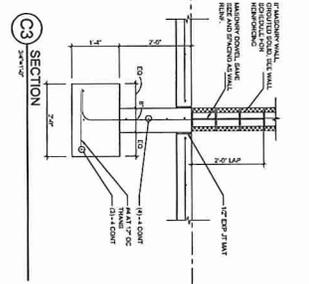
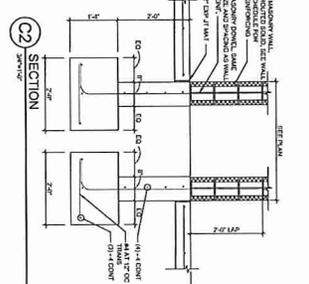
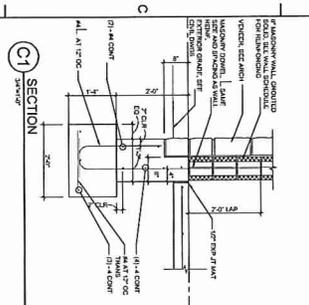
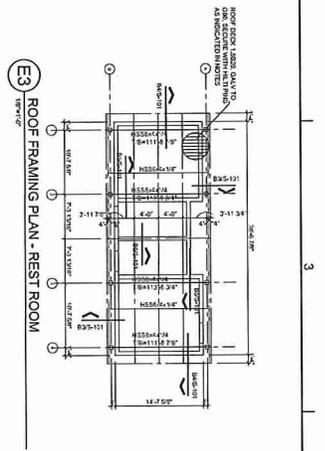
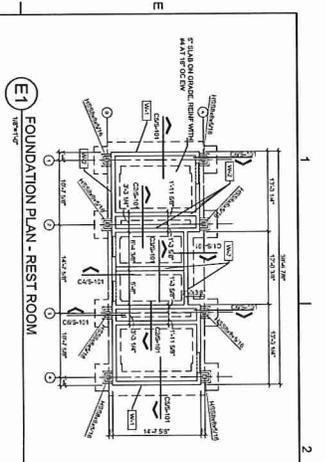
B1 DECIDUOUS TREE PLANTING
 1/2" NPT



B2 BASKETBALL GOAL
 1/2" NPT



A1 DECIDUOUS TREE PLANTING
 1/2" NPT



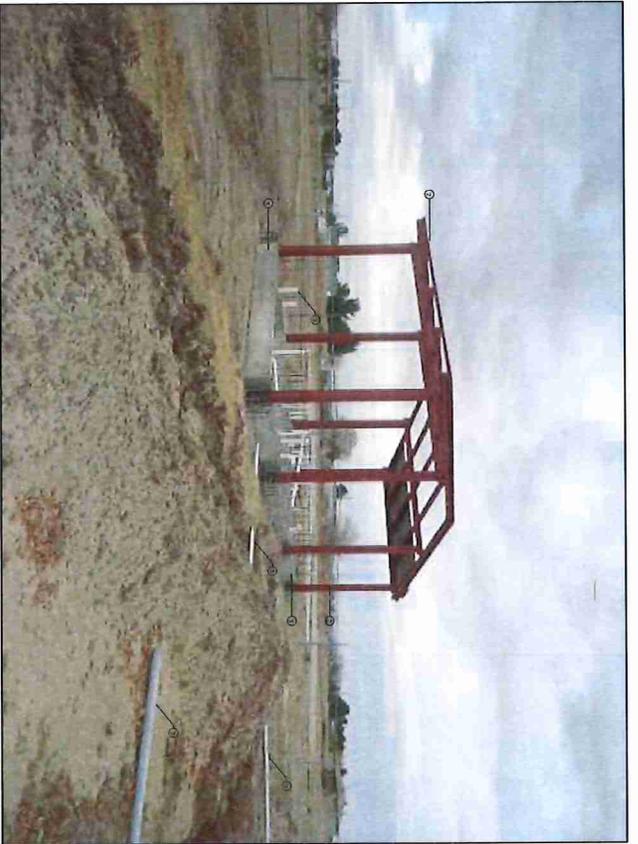
**CITY OF SOCORRO
MAURO ROSAS
PARK
IMPROVEMENTS**

BIDDING DOCUMENTS

330 BLDG NORADKA
SOCORRO, TX 79027

1	GENERAL NOTES
2	FOUNDATION
3	ROOF FRAMING
4	MECHANICAL
5	ELECTRICAL
6	PLUMBING
7	PAINT
8	FINISHES
9	CONCRETE
10	STEEL
11	WOOD
12	GLASS
13	MECHANICAL
14	ELECTRICAL
15	PLUMBING
16	PAINT
17	FINISHES
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294	PLUMBING
295	PAINT
296	FINISHES
297	CONCRETE
298	STEEL
299	WOOD
300	GLASS

S-101



C1 PHOTOGRAPH OF EXISTING STRUCTURE - SOUTHWEST VIEW



A1 PHOTOGRAPH OF EXISTING STRUCTURE - WEST VIEW

- DEMOLITION KEY NOTES**
- 1. REMOVE EXISTING CONCRETE FOUNDATION
 - 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SOCORRO AND THE STATE OF NEW MEXICO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SOCORRO AND THE STATE OF NEW MEXICO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SOCORRO AND THE STATE OF NEW MEXICO.
 - 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SOCORRO AND THE STATE OF NEW MEXICO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SOCORRO AND THE STATE OF NEW MEXICO.

GENERAL NOTES

- A. REMOVE EXISTING ELECTRICAL CONDUIT IN ITS ENTIRETY



PS&C
PARKHILL SMITH & COOPER



**CITY OF SOCORRO
MAURO ROSAS
PARK
IMPROVEMENTS**

BIDDING DOCUMENTS

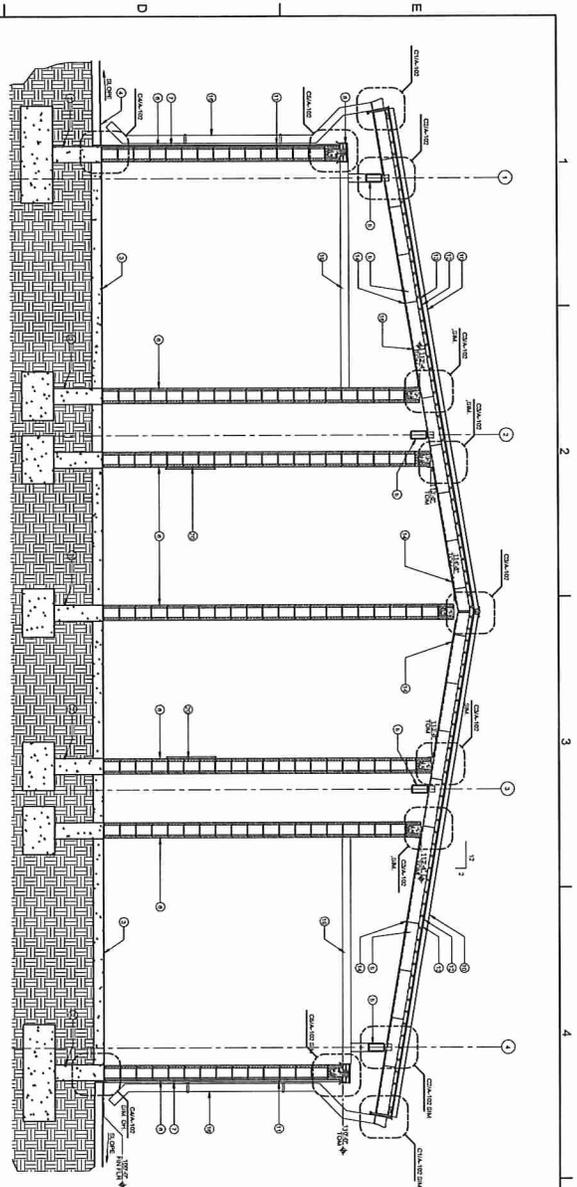
350 FLOR MORADA
SOCORRO, TX 78927

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4	REVISION	
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7	REVISION	
8	REVISION	
9	REVISION	
10	REVISION	

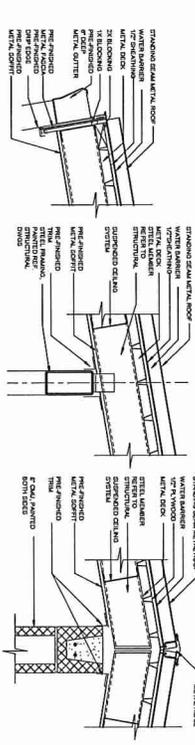
DEMOLITION

AD-100

- KEY NOTES**
1. APPROVED MASONRY STONE COURSE & FINISH UNLESS NOTED OTHERWISE
 2. APPROVED MASONRY STONE COURSE & FINISH UNLESS NOTED OTHERWISE
 3. APPROVED MASONRY STONE COURSE & FINISH UNLESS NOTED OTHERWISE
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 20. APPROVED MASONRY STONE COURSE & FINISH UNLESS NOTED OTHERWISE



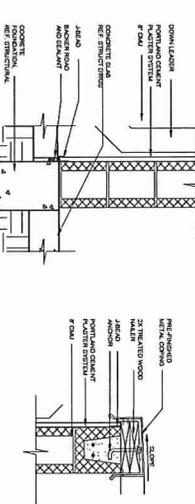
D1 WALL SECTION
1/8" = 1'-0"



C1 DETAIL
1/8" = 1'-0"

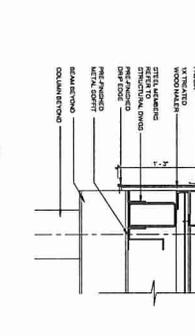
C2 DETAIL
1/8" = 1'-0"

C3 DETAIL
1/8" = 1'-0"

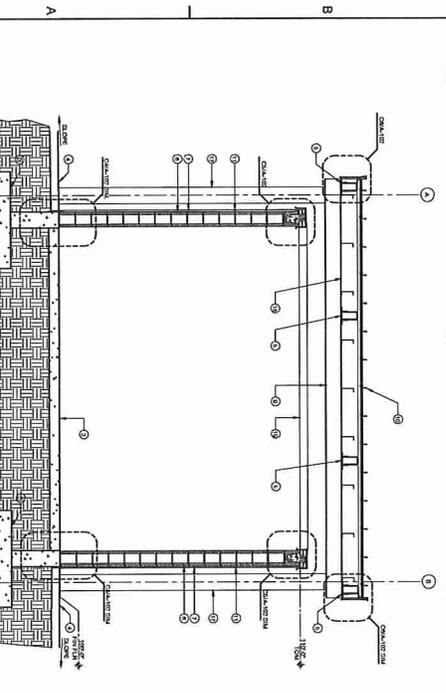


C4 DETAIL
1/8" = 1'-0"

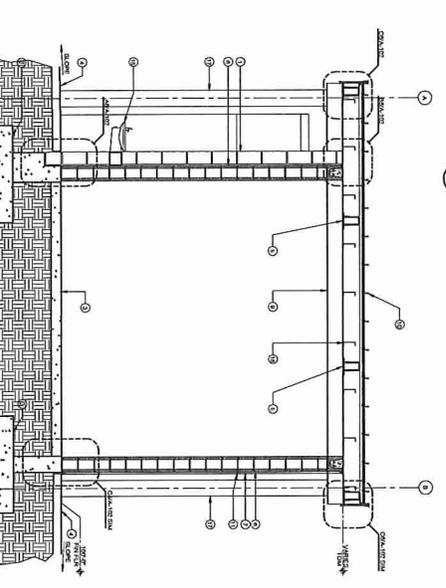
C5 DETAIL
1/8" = 1'-0"



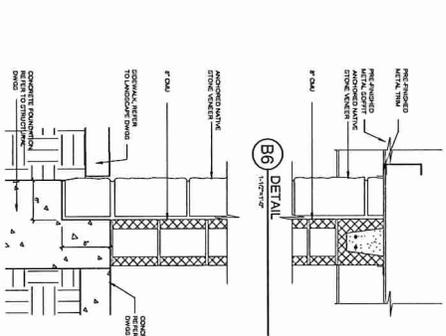
C6 DETAIL
1/8" = 1'-0"



A1 WALL SECTION
1/8" = 1'-0"



A3 WALL SECTION
1/8" = 1'-0"



A6 DETAIL
1/8" = 1'-0"

BIDDING DOCUMENTS

CITY OF SOCORRO MAUIFO ROSAS PARK IMPROVEMENTS

350 N. ION MORADA, SOCORRO, TX 78087

REVISED

NO.	DATE	DESCRIPTION
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BUILDING SECTION & CONSTRUCTION DETAILS

A-102



CITY OF SOCORRO MAUIFO ROSAS PARK IMPROVEMENTS

BIDDING DOCUMENTS

350 N. ION MORADA, SOCORRO, TX 78087

A-102

DUCTLESS SPLIT SYSTEMS

INDOOR UNIT INFORMATION		OUTDOOR UNIT INFORMATION	
ROOM NAME	MODEL NUMBER	ROOM NAME	MODEL NUMBER



PLUMBING PACKAGE SCHEDULE

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	CONDENSATE PUMP	1			
2	CONDENSATE DRAIN	1			
3	CONDENSATE PUMP	1			
4	CONDENSATE DRAIN	1			
5	CONDENSATE PUMP	1			
6	CONDENSATE DRAIN	1			
7	CONDENSATE PUMP	1			
8	CONDENSATE DRAIN	1			
9	CONDENSATE PUMP	1			
10	CONDENSATE DRAIN	1			

ELECTRIC UNIT HEATERS

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
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2					
3					
4					
5					
6					
7					
8					
9					
10					

EXHAUST FAN SCHEDULE

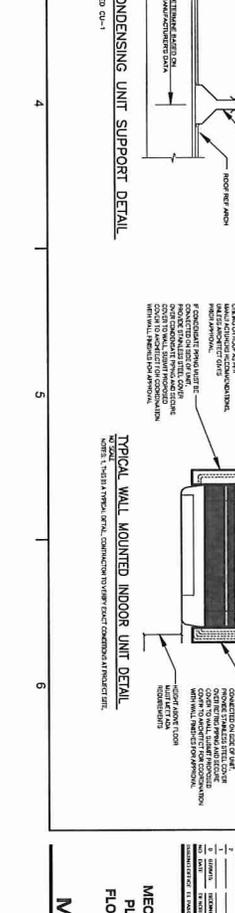
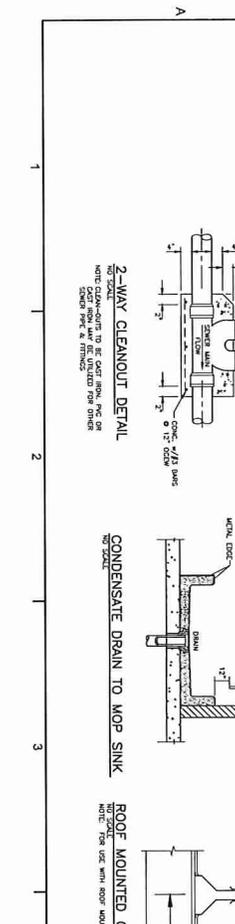
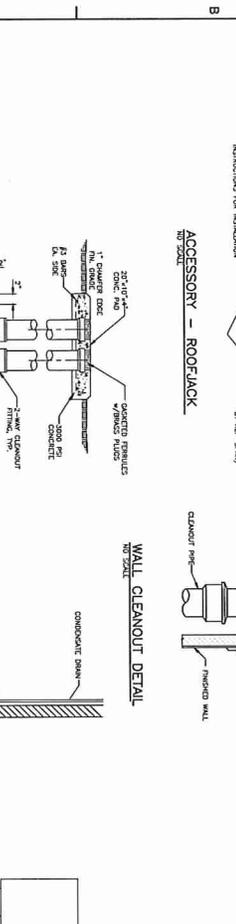
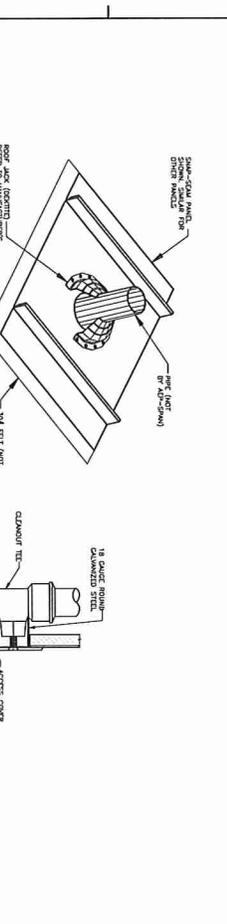
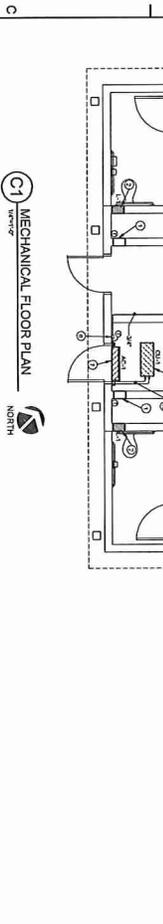
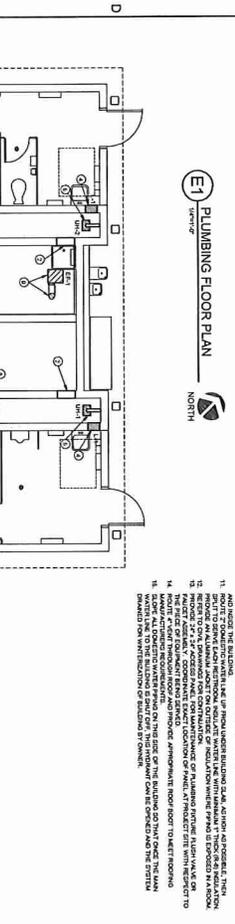
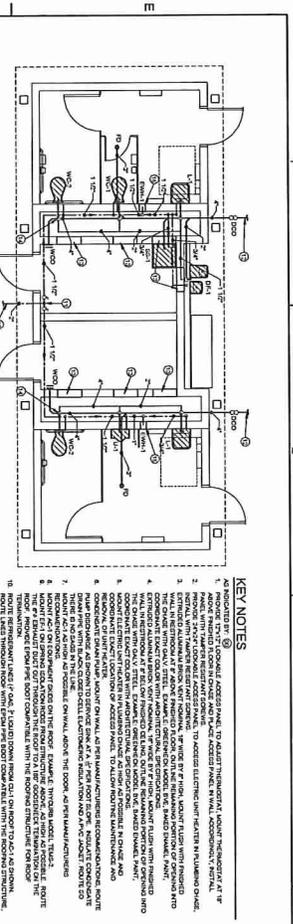
NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
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2					
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4					
5					
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7					
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10					

MECHANICAL/PLUMBING LEGEND

SYMBOL	DESCRIPTION
	CONDENSATE DRAIN
	VENT THROUGH ROOF
	CONDENSATE PUMP
	VENT
	EXHAUST FAN
	MECHANICAL CLEANOUT

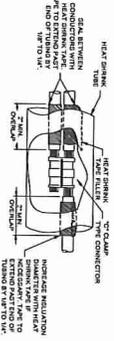
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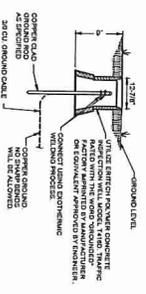


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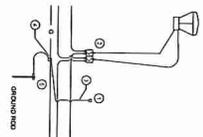
E1 C-CLAMP SPLICE DETAIL
SCALE: NONE



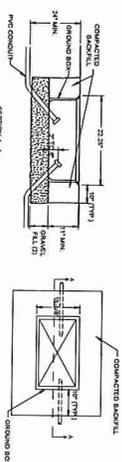
E3 GROUND ROD INSPECTION WELL
SCALE: NONE



E5 GROUNDING DETAILS
SCALE: NONE



D1 ILLUMINATION ASSEMBLY WIRING SCHEMATIC
SCALE: NONE



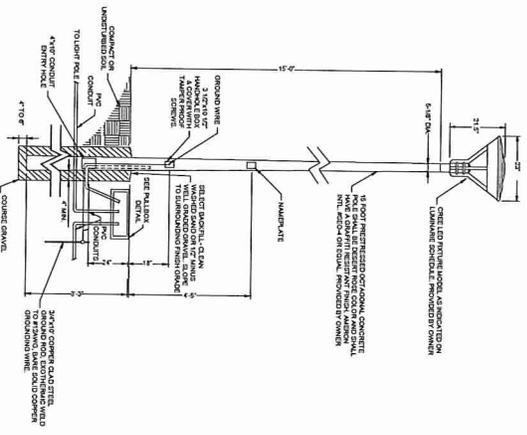
E3 GROUND ROD INSPECTION WELL
SCALE: NONE

- NOTES:**
1. POLE AND CONDUIT SHALL BE ADHERENT TO THE SPECIFICATIONS.
 2. CONDUIT SHALL BE 2\"/>

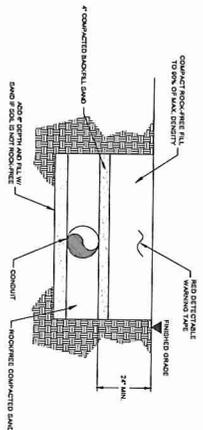
- NOTES:**
1. FINAL POSITION OF END OF CONDUIT SHALL NOT EXCEED ONE-FOURTH THE DEPTH TO THE SIDE OF THE CONDUIT.
 2. PLACE SIGNAL UNDER THE SIDE OF THE BOX. SIGNAL INDICATOR INDICATED ON THE APPROXIMATE LOCATION OF THE BOX.
 3. SIGNAL BUSHING ON THE APPROXIMATE END OF ALL LINES.
 4. WHERE A GROUND ROD PRESENTS THE GROUND ROD, CONDUCTOR TO THE END OF ALL CONDUCTOR INDICATED.
 5. MAINTAIN SUFFICIENT SPACE BETWEEN ALL CONDUCTORS TO ALLOW FOR PROPER INSTALLATION OF SIGNALING.
 6. ALL CONDUITS SHALL BE INSTALLED IN A HOLE AND PROTECTED BY A COVER.
 7. REQUIRED HULL TESTS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AND ANY OTHER APPLICABLE STANDARDS.
 8. GROUND ROD WILL BE PROVIDED BY OWNER.

- NOTES:**
1. ALL CONDUITS SHALL BE INSTALLED IN A HOLE AND PROTECTED BY A COVER.
 2. REQUIRED HULL TESTS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AND ANY OTHER APPLICABLE STANDARDS.
 3. GROUND ROD WILL BE PROVIDED BY OWNER.

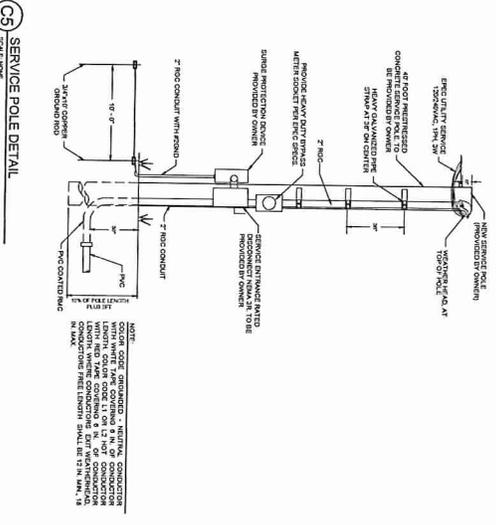
- NOTES:**
1. ALL CONDUITS SHALL BE INSTALLED IN A HOLE AND PROTECTED BY A COVER.
 2. REQUIRED HULL TESTS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AND ANY OTHER APPLICABLE STANDARDS.
 3. GROUND ROD WILL BE PROVIDED BY OWNER.



A1 LIGHT POLE DETAIL
SCALE: NONE



B3 UNDERGROUND CONDUIT DETAIL
SCALE: NONE



C5 SERVICE POLE DETAIL
SCALE: NONE

NO.	REVISION	DATE
1	ISSUED FOR BIDDING	07/20/20
2	REVISED FOR PERMITS	08/10/20
3	REVISED FOR PERMITS	08/10/20
4	REVISED FOR PERMITS	08/10/20
5	REVISED FOR PERMITS	08/10/20

ELECTRICAL
DETAIL

E-005

350 P. ON URBANA
SOCORRO, TX 78927

BIDDING DOCUMENTS
CITY OF SOCORRO
PARK
MAURO ROSAS
IMPROVEMENTS



DOCUMENT 00103

REQUEST FOR COMPETITIVE SEALED PROPOSALS

- 1.1 OWNER: City of Socorro, Texas
124 S. Horizon Boulevard
Socorro, Texas 79927
- 1.2 PROJECT: City of Socorro
Mauro Rosas Park Improvements
350 Flor Morada
Socorro, TX 79927
- 1.3 ARCHITECT: Parkhill, Smith & Cooper, Inc.
501 W. San Antonio
El Paso, Texas 79901
(915) 533-6811
- 1.4 DESCRIPTION
- A. The City of Socorro will receive competitive sealed proposals for General Construction Work, including mechanical and electrical work for the **Mauro Rosas Park Improvements**.
- B. A contract will be awarded based on the proposal offering the best value to the Owner for the project
- 1.5 BASIS OF PROPOSALS
- A. Owner will be utilizing the competitive sealed proposal procurement method as authorized by the Texas Legislature in Senate Bill 1 and further defined by House Bill 628 and Texas Government Code, Chapter 2267, Subchapter D.
- B. The budget for this project is approximately \$450,000.00.
- C. The selection criteria and weighting used to evaluate each proposer's proposal will include the following:

SUBMIT ITEMS BELOW WITH PROPOSAL FORM (Deliver to City of Socorro, 124 S. Horizon Boulevard, Socorro, Texas 79927 by **3:00 P.M., local time, Thursday, July 23, 2015.**)

a.	Price – Total Proposal Price	65%
b.	Proposed Construction Schedule	10%
c.	Resume and References of Superintendent	5%
d.	Office Project Manager Resume and Experience	5%
e.	Similar Sized Park Project Experience	5%
f.	Subcontractors Qualifications	5%
g.	HUB (Historically Underutilized Business)	5%

SUBMIT FIVE (5) NOTEBOOKS WITH ITEMS A THROUGH F WITH DIVIDERS FOR EACH ITEM. SUBMIT IN SEALED BOX MARKED ON OUTSIDE AS FOLLOWS:

“Attn: Olivia Navarro, Assistant City Clerk
City of Socorro
124 S. Horizon Boulevard
Socorro, TX 79927
Project: City of Socorro Mauro Rosas Park Improvements
Company Submitting Proposal: _____”

Selection of the Contractor will be based on a weighted combination of the listed selection criteria determined to provide the best value to the City of Socorro. Selection criteria A and B are quantitative and will be scored proportionally based on numeric values. Selection criteria C through G are qualitative and will be scored relatively. Contractor is required to submit information on all selection criteria listed above.

Proposals shall be made on a stipulated sum basis, using the enclosed Proposal Form. Segregated proposals will not be accepted.

It is understood that the Owner reserves the right to accept or reject any and all Proposals and to waive all formalities in accordance with State law.

1.6 PROPOSAL OPENING LOCATION

A. City of Socorro, 124 S. Horizon Boulevard, Socorro, Texas 79927, 3:00 P.M., local time, Thursday, July 23, 2015– Refer to paragraph 1.5 for details. Items A through F will be opened at this time.

1.7 PROPOSAL DOCUMENTS

- A. Proposal Documents may be examined at the Architect's office and at the following plan rooms:
1. AGC Plan Room
4625 Ripley Drive
El Paso, Texas 79922
915.585.1533
 2. McGraw Hill Dodge Plan Room
1615 University Blvd. NE
Albuquerque, New Mexico 87120
866.730.6155
- B. Proposers may secure copies of Proposal Documents from Parkhill, Smith & Cooper, Inc. 501 W. San Antonio, El Paso, Texas 79901 as follows:
1. Download documents (.PDF file extension format) from PSC's Info Exchange web site after registering as a plan holder with issuing PSC office. There is no cost or deposit required for this option.
 2. Unlimited number of digital copies (.PDF file extension format) upon a non-refundable cost of \$18.48 per each CD, plus applicable sales tax.
- C. Only Proposers who obtain Proposal Documents through PSC will be registered as a document holder (plan holder) and will therefore automatically receive addenda if/when issued.

-
- D. Subcontract Proposers may secure copies of the Proposal Documents from Parkhill, Smith & Cooper, Inc. 501 W. San Antonio, El Paso, Texas 79901 as follows:
 - 1. Download documents (.PDF file extension format) from PSC's Info Exchange web site after registering as a plan holder with issuing PSC office. There is no cost or deposit required for this option.
 - 2. Unlimited number of digital copies (.PDF file extension format) upon a non-refundable cost of \$18.48 per each CD, plus applicable sales tax.
 - E. No partial sets will be issued.
 - F. Proposal Documents may be purchased by any Proposer upon payment (non-refundable) of the following:
 - 1. Complete set of digital Proposal Documents: \$18.48 per each CD, plus applicable sales tax.

1.8 ADDENDA

- A. Addenda will be issued to document holders by one of the two following methods:
 - 1. E-mail notification to document holder with link to download addenda from PSC's Info Exchange web site.
 - 2. For document holders not having e-mail address, addenda may be picked up at the issuing PSC office, or mailed via the United States Postal Service (USPS).
- B. Addenda will not be faxed to document holders.

1.9 PRE-PROPOSAL CONFERENCE

- A. A pre-proposal conference will be held on Wednesday, July 14, 2015 at the project site at 11:00 a.m. local time. Attendance by prospective Proposers is not mandatory.

1.10 OPENING OF PROPOSALS:

- A. Proposals will be publicly opened in the City of Socorro, Conference Room, 124 S. Horizon Boulevard, Socorro, Texas 79927 immediately after closing of proposal time to identify the names of the proposer and their respective proposed contract amount. Other contents of the proposals will be afforded security sufficient to preclude disclosure of contents prior to award or rejection action. Refer to Paragraph 1.6 for details.
- B. After opening the Proposals, the Owner will evaluate and rank each Proposal with respect to the published selection criteria described under Section 1.5. After opening and ranking, an award may be made on the basis of the initially submitted Proposal, without discussion, clarification or modification, or the Owner may discuss with the selected proposer, offers for cost adjustment and other elements of the Proposal. Other than the data read at the Proposal opening, the Owner shall not disclose any information derived from the Proposals submitted by competing firms in conducting such discussions.
- C. If the Owner determines that it is unable to reach a satisfactory agreement with the first ranked proposer, the Owner will terminate discussions with that proposer. The Owner will then proceed with negotiations with each successive proposer as they appear in the order of ranking until an agreement is reached, or until the Owner has rejected all Proposals. After termination of discussions with any proposer, Owner will not resume discussions with that proposer.
- D. The Owner reserves the right to accept or reject any or all alternates or to accept any combination of alternates considered advantageous to the Owner.
- E. The award or rejection action regarding this Proposal is at the sole discretion of the Owner and the Owner makes no warranty regarding this Proposal that a contract will be awarded to any proposer.

1.11 The Owner agrees that if the Contract is awarded, it will be awarded to the proposer offering the best value to the Owner. The Owner is not bound to accept the lowest priced Proposal if that Proposal is judged not to be the best value for the Owner, as determined by the Owner.

1.12 FORMALITIES

A. The Owner reserves the right to waive irregularities and to reject all proposals.

1.13 APPLICABLE GOVERNING LAWS AND REGULATIONS

A. In accordance with the Instructions to Proposers, all proposers must comply with State Labor Laws concerning wage rates.

1.14 PERFORMANCE AND PAYMENT BONDS

A. Within ten (10) days after the contract is awarded, the successful Proposer shall furnish payment and performance bonds to the Owner for 100% of the contract price, if the contract is \$25,000.00 or more. Both the proposal bond and payment and performance bonds shall be written by a Surety Company listed by the United States Department of Treasury (Federal Register Circular 570) as an acceptable surety on Federal Bonds and shall hold a B+ or better rating by A.M. Best Co., Oldwick, NJ.

END OF DOCUMENT

DOCUMENT 00200

INSTRUCTIONS TO PROPOSERS

ARTICLE 1 - DEFINITIONS

- 1.1 Proposal Documents include the Proposal Requirements and the proposed Contract Documents. The Proposal Requirements consist of the Request for Proposals, Instructions to Proposers, the proposal form, and other sample proposal and contract forms. The proposed Contract Documents consist of the form of Agreement between the Owner and Contractor, Conditions of the Contract (General, Supplementary and other Conditions), Drawings, Specifications and all Addenda issued prior to execution of the Contract.
- 1.2 Definitions set forth in the General Conditions of the Contract for Construction, AIA Document A201, or in other Contract Documents are applicable to the Proposal Documents.
- 1.3 Addenda are written or graphic instruments issued by the Architect prior to the execution of the Contract which modify or interpret the Proposal Documents by additions, deletions, clarifications or corrections.
- 1.4 A Proposal is a complete and properly signed proposal to do the Work for the sums stipulated therein, submitted in accordance with the Proposal Documents.
- 1.5 A Unit Price is an amount stated in the Proposal as a price per unit of measurement for materials, equipment or services or a portion of the Work as described in the Proposal Documents.
- 1.6 A Proposer is a person or entity who submits a Proposal.
- 1.7 A Sub-proposer is a person or entity who submits a proposal to a Proposer for materials, equipment or labor for a portion of the Work.

ARTICLE 2 - PROPOSER'S REPRESENTATIONS

- 2.1 The Proposer, by making a Proposal, represents that:
 - 2.1.1 The Proposer has read and understands the Proposal Documents and the Proposal is made in accordance therewith.
 - 2.1.2 The Proposer has read and understands the Proposal Documents or contract documents, to the extent that such documentation relates to the Work for which the Proposal is submitted, and for other portions of the Project, if any, being proposed concurrently or presently under construction.
 - 2.1.3 The Proposer has visited the site, become familiar with local conditions under which the Work is to be performed and has correlated the Proposer's personal observations with the requirements of the proposed Contract Documents.
 - 2.1.4 The Proposal is based upon the materials, equipment and systems required by the Proposal Documents without exception.

ARTICLE 3 - PROPOSAL DOCUMENTS

3.1 COPIES

- 3.1.1 Proposers may obtain complete sets of the Proposal Documents from Parkhill, Smith & Cooper, Inc. in the number and for the deposit sum, stated in the Request for Competitive Sealed Proposals.
- 3.1.2 Proposal Documents will be issued directly to Subproposers or others unless specifically offered in Request for Competitive Sealed Proposals.
- 3.1.3 Proposers shall use complete sets of Proposal Documents in preparing Proposals; neither the Owner nor Architect assumes responsibility for errors or misinterpretations resulting from the use of incomplete sets of Proposal Documents.
- 3.1.4 In making copies of the Proposal Documents available on the above terms, the Owner and the Architect do so only for the purpose of obtaining Proposals on the Work and do not confer a license or grant permission for any other use of the Proposal Documents.

3.2 INTERPRETATION OR CORRECTION OF PROPOSAL DOCUMENTS

- 3.2.1 The Proposer shall carefully study and compare the Proposal Documents with each other, and with other work being proposal concurrently or presently under construction to the extent that it relates to the Work for which the Proposal is submitted, shall examine the site and local conditions, and shall at once report to the Architect errors, inconsistencies or ambiguities discovered.
- 3.2.2 Proposers and Sub-proposers requiring clarification or interpretation of the Proposal Documents shall make a written request which shall reach the Architect at least seven days prior to the date for receipt of Proposals.
- 3.2.3 Interpretations, corrections and changes of the Proposal Documents will be made by Addendum. Interpretations, corrections and changes of the Proposal Documents made in another manner will not be binding, and Proposers shall not rely upon them.

3.3 SUBSTITUTIONS

- 3.3.1 The materials, products and equipment described in the Proposal Documents establish a standard of required function, dimension, appearance and quality to be met by any proposed substitution.
- 3.3.2 **No substitution will be considered prior to receipt of Proposals unless written request for approval has been received by the Architect at least five days prior to the date for receipt of Proposals.** Such requests shall include the name of the material or equipment for which it is to be substituted and a complete description of the proposed substitution including drawings, performance and test data, and other information necessary for an evaluation. An item by item (line by line) comparison of each item listed in the specification shall be compiled and submitted comparing specified material/product with proposed substitution. A statement setting forth changes in other material, equipment or other portions

of the Work including changes in the work of other contracts that incorporation of the proposed substitution would require shall be included. The burden of proof of the merit of the proposed substitution is upon the proposer. Architect's approval is for manufacturer only, and not specific material, system or equipment. Approved manufacturer's material, system or equipment is subject to additional and final review after award of contract and submitted for Architect's approval during Construction Administration submittal/shop drawing review process. The Architect's decision of approval or disapproval of a proposed substitution shall be final.

3.3.3 If the Architect approves a proposed substitution prior to receipt of Proposals, such approval will be set forth in an Addendum. Proposers shall not rely upon approvals made in any other manner.

3.3.4 No substitutions will be considered after the Contract award, unless approved in accordance with the requirements of Section 01600 – Product Requirements.

3.4 ADDENDA

3.4.1 Addenda will be issued via the Architect's Newforma Info Exchange website or via mail (if internet service is not available) to all who are known by the issuing office to have received a complete set of Proposal Documents.

3.4.2 Copies of Addenda will be made available for inspection wherever Proposal Documents are on file for that purpose.

3.4.3 No Addenda will be issued later than two days prior to the date for receipt of Proposals except an Addendum withdrawing the request for Proposals or one which includes postponement of the date for receipt of Proposals.

3.4.4 Only Proposers who obtain Proposal Documents through Parkhill, Smith & Cooper, Inc. will be registered as a document holder (plan holder) and will therefore automatically receive addenda if/when issued.

3.4.5 Each Proposer shall ascertain, prior to submitting a Proposal, that the Proposer has received all Addenda issued, and the Proposer shall acknowledge their receipt in the Proposal.

ARTICLE 4 - PROPOSAL PROCEDURES

4.1 FORM AND STYLE OF PROPOSALS

4.1.1 Proposals shall be submitted on forms identical to the form included with the Proposal Documents.

4.1.2 All blanks on the proposal form shall be filled in by typewriter or manually, in ink.

4.1.3 Where so indicated by the makeup of the proposal form, sums shall be expressed in both words and figures, and in case of discrepancy between the two, the amount written in words shall govern.

4.1.4 Interlineations, alterations and erasures must be initialed by the signer of the Proposal.

4.1.5 Each copy of the Proposal shall include the legal name of the Proposer and a statement that the Proposer is a sole proprietor, partnership, corporation or other legal entity. Each copy shall be signed by the person or persons legally authorized to bind the Proposer to a contract. A Proposal by a corporation shall further give the state of incorporation and have the corporate seal affixed. A Proposal submitted by an agent shall have a current power of attorney attached certifying the agent's authority to bind the Proposer.

4.1.6 All costs associated with the preparation, submission and delivery of Proposal is the sole responsibility of the Proposer.

4.2 PROPOSAL SECURITY

4.2.1 Each Proposal shall be accompanied by a proposal security as stipulated in the Request for Competitive Sealed Proposals, in the form and amount required, pledging that the Proposer will enter into a Contract with the Owner on the terms stated in the Proposal and will furnish bonds covering the faithful performance of the Contract and payment of all obligations arising thereunder. Should the Proposer refuse to enter into such Contract or fail to furnish such bonds, the amount of the proposal security shall be forfeited to the Owner as liquidated damages, not as a penalty. The amount of the proposal security shall not be forfeited to the Owner in the event the Owner fails to comply with Subparagraph 6.2.1.

4.2.2 The surety bond shall be written on AIA Document A310, Proposal Bond, or a similar standard form of the Surety, and the attorney-in-fact who executes the bond on behalf of the Surety, shall affix to the bond a certified and current copy of the power of attorney.

4.2.3 The Owner will have the right to retain the proposal security of Proposers to whom an award is being considered until either (a) the Contract has been executed and bonds have been furnished, or (b) the specified time has elapsed so that Proposals may be withdrawn, or (c) all Proposals have been rejected.

4.3 SUBMISSION OF PROPOSALS

4.3.1 All copies of the Proposal, the proposal security and other documents required to be submitted with the Proposal shall be enclosed in a sealed opaque envelope. The envelope shall be addressed as indicated in the Request for Competitive Sealed Proposals and shall be identified with the Project name, the Proposer's name and address and, if applicable, the designated portion of the Work for which the Proposal is submitted. If the Proposal is sent by mail, the sealed envelope shall be enclosed in a separate mailing envelope with the notation "SEALED PROPOSAL ENCLOSED" on the face thereof.

4.3.2 Proposals shall be deposited at the designated location prior to the time and date for receipt of Proposals. Proposals received after the time and date for receipt of Proposals will be returned unopened.

4.3.3 The Proposer shall assume full responsibility for timely delivery at the location designated for receipt of Proposals.

4.3.4 Oral, telephonic or telegraphic Proposals are invalid and will not receive consideration.

4.3.5 The Proposer shall be responsible for all costs associated with preparing the Competitive Sealed Proposal Document response. The Owner and Architect shall not incur any costs associated with the production and printing of the Competitive Sealed Proposal Document and post proposal information.

4.3.6 The Proposer shall prepare five (5) copies of his proposal information which will be sealed in an opaque envelope.

4.4 MODIFICATION OR WITHDRAWAL OF PROPOSAL

4.4.1 A Proposal may not be modified, withdrawn or canceled by the Proposer during the stipulated time period following the time and date designated for the receipt of Proposals, and each Proposer so agrees in submitting a Proposal.

4.4.2 Prior to the time and date designated for receipt of Proposals, a Proposal submitted may be modified or withdrawn by notice to the party receiving Proposals at the place designated for receipt of Proposals. Such notice shall be in writing over the signature of the Proposer or by telegram; if by telegram, written confirmation over the signature of the Proposer shall be mailed and postmarked on or before the date and time set for receipt of Proposals. A change shall be so worded as not to reveal the amount of the original Proposal.

4.4.3 Withdrawn Proposals may be resubmitted up to the date and time designated for the receipt of Proposals provided that they are then fully in conformance with these Instructions to Proposers.

ARTICLE 5 - CONSIDERATION OF PROPOSALS

5.1 OPENING OF PROPOSALS

5.1.1 As stated in the Request for Competitive Sealed Proposals, the properly identified Proposals, received on time, will be opened publicly and will be read aloud. An abstract of the same information may, at the discretion of the Owner, be made available to the Proposers within a reasonable time.

5.2 REJECTION OF PROPOSALS

5.2.1 The Owner shall have the right to reject any, or all Proposals, reject a Proposal not accompanied by a required proposal security, or by other data required by the Proposal Documents, or reject a Proposal which is in any way incomplete or irregular.

5.3 ACCEPTANCE OF PROPOSAL (AWARD)

5.3.1 It is the intent of the Owner to award a Contract to the lowest responsible Proposer provided the Proposal has been submitted in accordance with the requirements of the Proposal Documents and does not exceed the funds available. The Owner shall have the right to waive informalities or irregularities in a Proposal received and to accept the Proposal which, in the Owner's judgment, is in the Owner's own best interests. The issuance of this request for proposals does not obligate the Owner to enter into a contract.

-
- 5.3.2 Each proposer agrees to waive any claim it has or may have against the Owner, the Architect, and their respective employees, arising out of or in connection with the administration, evaluation, or recommendation of any proposal.

5.4 SELECTION CRITERIA AND SCORING METHODOLOGY

- 5.4.1 Proposers will be selected using a weighted multiplier for each category of the Selection Criteria. The weighted selection system assigns a specific weight (percentage of total value of 100%) to the list of selection criteria below. A weight is determined for each criteria as stipulated in the Request for Competitive Sealed Proposals.

Two proposers can receive the same point score for the same criteria.

Should a tie occur in the proposal selection, the lower Construction Cost will be the tiebreaker.

ARTICLE 6 - POST-PROPOSAL INFORMATION

6.1 CONTRACTOR'S QUALIFICATION STATEMENT

- 6.1.1 Proposers to whom award of a Contract is under consideration shall submit to the Architect, upon request, a properly executed AIA Document A305, Contractor's Qualification Statement.

6.2 OWNER'S FINANCIAL CAPABILITY

- 6.2.1 The Owner shall, at the request of the Proposer to whom an award of a Contract is under consideration and no later than seven days prior to the expiration of the time for withdrawal of Proposals, furnish to the Proposer reasonable evidence that financial arrangements have been made to fulfill the Owner's obligations under the Contract. Unless such reasonable evidence is furnished, the Proposer will not be required to execute the Agreement between the Owner and Contractor.

6.3 SUBMITTALS

- 6.3.1 The Proposer will be required to establish, to the satisfaction of the Architect and Owner, the reliability and responsibility of the persons or entities proposed to furnish and perform the Work described in the Proposal Documents.
- 6.3.2 Prior to the award of the Contract, the Architect will notify the Proposer in writing if either the Owner or Architect, after due investigation, has reasonable objection to a person or entity proposed by the Proposer. If the Owner or Architect has reasonable objection to a proposed person or entity, the Proposer may, at the Proposer's option, (1) withdraw the Proposal, or (2) submit an acceptable substitute person or entity, with an adjustment in the Base Proposal or Alternate Proposal to cover the difference in cost occasioned by such substitution. The Owner may, accept the adjusted proposal price or disqualify, the Proposer. In the event of either withdrawal or disqualification, proposal security will not be forfeited.

-
- 6.3.3 Persons and entities proposed by the Proposer and to whom the Owner and Architect have made no reasonable objection must be used on the Work for which they were proposed and shall not be changed except with the written consent of the Owner and Architect.

ARTICLE 7 - PERFORMANCE BOND AND PAYMENT BOND

7.1 BOND REQUIREMENTS

- 7.1.1 The Proposer shall furnish bonds covering the faithful performance of the Contract and payment of all obligations arising thereunder. Bonds shall be secured from sources as defined in AIA Document A101-2007, as amended by the City of Socorro.
- 7.1.2 The cost shall be included in the Proposal.

7.2 TIME OF DELIVERY AND FORM OF BONDS

- 7.2.1 The Proposer shall deliver the required bonds to the Owner prior to the execution of the Contract.
- 7.2.2 The bonds shall be written on AIA Document A312, Performance Bond and Payment Bond or the Bonding Company's standard bond forms. Both bonds shall be written in the amount of the Contract Sum.
- 7.2.3 The bonds shall be dated on or after the date of the Contract.
- 7.2.4 The Proposer shall require the attorney-in-fact who executes the required bonds on behalf of the surety, to affix thereto a certified and current copy of the power of attorney.

ARTICLE 8 - INSURANCE

8.1 INSURANCE REQUIREMENTS

- 8.1.1 The Proposer shall furnish insurance in the types and amount of coverage required, and shall be secured from sources as defined in AIA Document A101-2007, as amended by the City of Socorro.
- 8.1.2 The cost shall be included in the Proposal.

8.2 TIME OF DELIVERY AND FORM OF INSURANCE

- 8.2.1 The Proposer shall deliver the required certificates of insurance coverage to the Owner upon its execution of the Contract.
- 8.2.2 The insurance certificate shall be written on a form acceptable to the Owner. Insurance shall be written in the amount required by the Contract.
- 8.2.3 The insurance certificates shall be dated on or before the date of the Contract.

ARTICLE 9 - FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR

9.1 FORM TO BE USED

- 9.1.1 The Agreement for the Work will be written on AIA Document A101-2007, Standard Form of Agreement Between Owner and Contractor for a Project of Limited Scope, as amended by the City of Socorro.

ARTICLE 10 - APPLICABLE GOVERNING LAWS AND REGULATIONS

10.1 WAGE RATES

- 10.1.1 All proposers must comply with State Labor Laws as required by current amended provisions of Section 2 of Article 5159a, Texas Civil Statutes. Contractor is required to pay not less than the specified minimum wage rates of the various applicable classes of labor.
- 10.1.2 The Contractor shall forfeit as a penalty to the State, sixty dollars (\$60.00) for each laborer, workman or mechanic employed for each calendar day or portion thereof, if such laborer, workman or mechanic is paid less than the said stipulated rates for any work done under said contract, by Contractor or by their subcontractor.

ARTICLE 11 – SALES TAX

- 11.1 The City of Socorro will provide the successful proposer with sales tax exemption certificates for construction materials

END OF SECTION

SECTION 01200

PRICE AND PAYMENT

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings, General Conditions of the Contract for Construction, Supplementary Conditions (if any) and Division 1 - General Requirements apply to Work of this Section.

1.2 SECTION INCLUDES

- A. Contingency Allowance.
- B. Schedule of Values.
- C. Application for Payment.
- D. Change Procedures.
- E. Measurement and payment - unit prices.

1.3 RELATED SECTIONS

- A. Section 01330 - Submittal Procedures: Schedule of Values.
- B. Section 01600 - Product Requirements: Product substitutions.

1.4 CONTINGENCY ALLOWANCE

- A. Include the stipulated sum of \$25,000 for use upon Owner's instruction.
- B. Costs Included in Contingency Allowance: Contractor's costs for products, equipment, delivery, installation, labor, insurance, payroll, applicable taxes, and equipment rental; handling at the site, including unloading, uncrating, and storage; protection of products from elements and from damage; finishing costs.
- C. Costs Not Included in the Contingency Allowance, but included in Contract Sum/Price: Bonds, insurance, overhead, profit, and other expenses contemplated for stated allowance amounts.
- D. Funds will be drawn from Contingency Allowance only by Change Order.
- E. At closeout of Contract, funds remaining in Contingency Allowance will be credited to Owner by Change Order.

1.5 SCHEDULE OF VALUES

- A. Submit typed schedule on AIA Form G703 - Application and Certificate for Payment Continuation Sheet.
- B. Submit Schedule of Values in duplicate within 15 days after date of Owner-Contractor Agreement.
- C. Format: Utilize the Table of Contents of this Project Manual. Identify each line item with number and title of the major specification Section, separating labor and material for each line item. Identify site mobilization, general conditions, bonds and insurance as separate line items.
- D. Include separately from each line item, a directly proportional amount of Contractor's overhead and profit.
- E. Revise schedule to list approved Change Orders, with each Application For Payment.

1.6 APPLICATIONS FOR PAYMENT

- A. Submit three notarized copies of each application on AIA Form G702 - Application and Certificate for Payment and AIA G703 - Continuation Sheet.
- B. Content and Format: Utilize Schedule of Values for listing items in Application for Payment.
- C. Payment Period: As defined in Owner-Contractor agreement.
- D. Include one copy of waiver of liens from each subcontractor.

1.7 CHANGE PROCEDURES

- A. The Architect will advise of minor changes in the Work not involving an adjustment to Contract Sum/Price or Contract Time as authorized by AIA A201, 1997 Edition, Paragraph 7.4 by issuing Architect's Supplemental Instructions on Architect's Standard Supplemental Instruction form.
- B. The Architect may issue a Construction Change Request which includes a detailed description of a proposed change with supplementary or revised Drawings and specifications and a change in Contract Time for executing the change. Contractor will prepare and submit an estimate within 7 days.
- C. The Contractor may propose a change by submitting request for change to the Architect, describing the proposed change and its full effect on the Work. Include a statement describing the reason for the change, and the effect on the Contract Sum/Price and Contract Time with full documentation and a statement describing the effect on Work by separate or other contractors. Document any requested substitutions in accordance with Section 01600.
- D. Stipulated Sum/Price Change Order: Based on Proposal Request and Contractor's fixed price quotation or Contractor's request for a Change Order as approved by Architect.
- E. Unit Price Change Order: For pre-determined unit prices and quantities, the Change Order will be executed on a fixed unit price basis. For unit costs or quantities of units of work which are not pre-determined, execute Work under a Construction Change Directive. Changes in Contract Sum/Price or Contract Time will be computed as specified for Time and Material Change Order.
- F. Construction Change Directive: Architect may issue a directive, on AIA Form G713 Construction Change Directive signed by the Owner, instructing the Contractor to proceed with a change in the Work, for subsequent inclusion in a Change Order. Document will describe changes in the Work, and designate method of determining any change in Contract Sum/Price or Contract Time. Promptly execute the change.
- G. Time and Material Change Order
 - 1. Submit itemized account and supporting data after completion of change, within time limits indicated in the Conditions of the Contract.
 - 2. Architect will determine the change allowable in Contract Sum/Price and Contract Time as provided in the Contract Documents.
 - 3. Maintain detailed records of work done on Time and Material basis.
 - 4. Provide full information required for evaluation of proposed changes, and to substantiate costs for changes in the Work.
- H. Change Order Forms: AIA G701 Change Order.
- I. Execution of Change Orders: Architect will issue Change Orders for signatures of parties as provided in the Conditions of the Contract.
- J. Change Order: Furnish an itemized breakdown, in form acceptable to Architect of all costs and supporting information including but not limited to quantities, material prices, tier subcontracted work is performed at, labor rates and employer payments and rental rates. The

itemized breakdown detail shall be the same for any subcontractor work. Provide complete supporting information for profit and overhead or markups used when so requested. Consider the following items a part of overhead or Contractor's and sub-contractor's mark-up and do not include as a separate cost item: Labor for Superintendents, Assistant Superintendents, home office personnel, timekeepers and maintenance mechanics at any level of contracting; individual pieces of equipment, hand tools or instruments having a new value of \$500.00 or less, whether or not consumed by use; on site and main offices; modification to record contract documents nor guarantee period costs.

1.8 MEASUREMENT AND PAYMENT - UNIT PRICES

- A. Authority: Measurement methods are delineated in the individual specification sections.
- B. Take measurements and compute quantities. The Architect will verify measurements and quantities.
- C. Unit Quantities: Quantities and measurements indicated in the Proposal Form are for contract purposes only. Actual quantities provided will determine payment.
- D. Payment Includes: Full compensation for required labor, products, tools, equipment, plant, transportation, services and incidentals; erection, application or installation of an item of the Work; insurance, overhead and profit.
- E. Defect Assessment: Replace the Work, or portions of the Work, not conforming to specified requirements. If, in the opinion of the Architect, it is not practical to remove and replace the Work, the Architect will direct an appropriate remedy or adjust payment.
- F. Unit Price Schedule:
 - 1. Item: 4" thick concrete sidewalk; Section 03300.

PART 2 - PRODUCTS

Not Used

PART 3 - EXECUTION

Not Used

END OF SECTION



PARKHILLSMITH&COOPER

BASE BID Opinton of Probable Cost - 6/30/15
City of Socorro Mauro Rosas Park
 Socorro, Texas
 PSC Job Number: 03.7114.15

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COSTS	EXTENDED COSTS
HARDSCAPE				
Sidewalks (470' sf + 600' sf picnic table concrete pads)	5307	SF	\$5.00	\$26,535.00
Concrete Curb (92' If thickened edge concrete)	238	LF	\$12.00	\$2,856.00
IRRIGATION				
Irrigation Rotors	55590	SF	\$0.60	\$33,354.00
Landscape				
Turf Grass Seed	109434	SF	\$0.07	\$7,660.38
Site grading	3000	CY	\$5.00	\$15,000.00
Playground				
Fall Surfacing	3750	SF	\$4.00	\$15,000.00
Playground Equipment	1	LS	\$50,000.00	\$50,000.00
Site Amenities				
Basketball goals	4	EA	\$1,500.00	\$6,000.00
Bench	1	EA	\$760.00	\$760.00
Structural				
Cast-In-Place Concrete				
Continuous Footings	24	CY	\$211.00	\$4,964.00
Spread Footings	9	CY	\$303.00	\$2,667.00
Column Pedestals	3	CY	\$276.00	\$717.00
Floor Slab	592	SF	\$15.00	\$8,880.00
Demolition	592	SF	\$2.50	\$1,480.00
Metals				
HSS 6x4x1/4 Joists	250	LF	\$25.15	\$6,287.50
HSS 6x4x1/4 Beams	150	LF	\$27.09	\$4,063.50
HSS 8x8x5/16 Columns	80	LF	\$27.09	\$2,167.20
Metal Roof Deck	750	SF	\$8.12	\$6,090.00
Architectural				
8" Unit Masonry	2345	SF	\$14.00	\$32,830.00
Native Stone Veneer	180	SF	\$12.00	\$2,160.00
Standing Seam Metal Roofing	774	SF	\$8.00	\$6,192.00
Joint Sealants	1	LS	\$240.00	\$240.00
Install Doors and Frames	4	EA	\$60.00	\$240.00
Door Hardware	4	EA	\$300.00	\$1,200.00
Sealed Concrete Floors	585	SF	\$12.00	\$7,020.00
Sealed Concrete Walls	1580	SF	\$12.00	\$18,960.00
Resilient Base	160	LF	\$1.00	\$160.00
Portland Cement Plaster Finish	1150	SF	\$10.00	\$11,500.00
Panking	2730	SF	\$2.00	\$5,460.00
Toilet Partitions (Accessible)	2	EA	\$1,200.00	\$2,400.00
Toilet Partitions (Standard)	1	EA	\$1,000.00	\$1,000.00
Urinal Screens	1	EA	\$600.00	\$600.00
Signage	4	EA	\$50.00	\$200.00
Grab Bars	4	EA	\$150.00	\$600.00
Toilet Tissue Dispensers	3	EA	\$75.00	\$225.00
Napkin Disposal	2	EA	\$120.00	\$240.00
Paper Towel Dispensers	2	EA	\$150.00	\$300.00
Soap Dispensers	2	EA	\$75.00	\$150.00
Mirrors	2	EA	\$325.00	\$650.00
Fire Extinguishers	1	EA	\$250.00	\$250.00
Electrical				
Electrical service, basketball court and site lighting	1	LS	\$20,000.00	\$20,000.00
Lighting Panel	1	LF	\$1,800.00	\$1,800.00
Lighting fixtures	6	EA	\$200.00	\$1,200.00
Light Fixture (poles)	6	EA	\$350.00	\$2,100.00
Light Pole (concrete poles)	6	EA	\$950.00	\$5,700.00
Wall pack light fixtures	2	EA	\$350.00	\$700.00
Electrical Receptacles	4	EA	\$280.00	\$1,120.00
500 KCMIL	1700	LF	\$11.90	\$20,230.00
#10 Wire	600	LF	\$3.50	\$2,100.00
#12 Wire	600	LF	\$3.00	\$1,800.00
3.5" PVC	500	LF	\$5.20	\$2,600.00
1" PVC	500	LF	\$3.85	\$1,925.00
3/4" RMC	200	LF	\$4.00	\$800.00
Trenching & backfill	700	LF	\$12.00	\$8,400.00
Pulbox	6	EA	\$500.00	\$3,000.00
Timer	1	LS	\$4,800.00	\$4,800.00
Existing conduit removal	1	LS	\$3,000.00	\$3,000.00
Material pickup at storage location	1	LS	\$1,500.00	\$1,500.00
Civil				
8" Sewer Line	810	LF	\$35.00	\$28,350.00
6" Sewer Line	180	LF	\$30.00	\$5,400.00
Manholes	3	EA	\$5,000.00	\$15,000.00
Sewer Cleanout	1	EA	\$500.00	\$500.00
Tap into Sewer Line/Manhole	1	EA	\$1,000.00	\$1,000.00
Trench Safety	990	LF	\$2.00	\$1,980.00
Asphaltic Pavement Replacement	195	SY	\$40.00	\$7,800.00
6" Wye Fitting	1	EA	\$500.00	\$500.00
2" Water Meter	1	EA	\$2,700.00	\$2,700.00
2" Water Service Tap/w Backflow preventer	1	EA	\$1,500.00	\$1,500.00
2" Valve and Box	1	EA	\$500.00	\$500.00
Demolition	1	LS	\$3,000.00	\$3,000.00
Mechanical and Plumbing				
Water Closets	3	EA	\$4,500.00	\$13,500.00
Lavatories	2	EA	\$3,500.00	\$7,000.00
Service Sink	1	EA	\$4,500.00	\$4,500.00
Urinating Fountain	1	EA	\$4,500.00	\$4,500.00
Piping, valves, fittings, etc.	1	LS	\$10,000.00	\$10,000.00
Urinal	1	EA	\$4,500.00	\$4,500.00
Louvers	4	EA	\$400.00	\$1,600.00
Unit Heaters	2	EA	\$750.00	\$1,500.00
Exhaust Fan	1	EA	\$950.00	\$950.00
Unitless DX Split System	1	EA	\$8,500.00	\$8,500.00
Condensate Piping & fittings, etc.	1	LS	\$150.00	\$150.00
SUBTOTALS				\$497,982.63
Area Multiplier				0.80
Tax				\$398,386.10
General Contractor Overhead				\$398,386.10
General Contractor Profit				\$31,870.89
Grand Total				\$460,374.97
Contingency				\$6,205.62
Contingency				\$467,280.60
Contingency				\$23,364.03
GRAND TOTAL				\$490,644.63



PARKHILLSMITH&COOPER

WITH ALTERNATES Opinion of Probable Cost - 6/30/15

City of Socorro Mauro Rosas Park

Socorro, Texas

PSC Job Number: 03.7114.15

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COSTS	EXTENDED COSTS
HARDSCAPE				
Sidewalks (4707sf + 600sf picnic table concrete pads)	5307	SF	\$5.00	\$26,535.00
Concrete Curb (92 lf thickened edge concrete)	238	LF	\$12.00	\$2,856.00
IRRIGATION				
Irrigation Rotors (partial At. 1 - 53844sf)	109434	SF	\$0.60	\$65,660.40
Landscape				
Turf Grass Seed	109434	SF	\$0.07	\$7,660.38
Site grading	3000	CY	\$5.00	\$15,000.00
Playground				
Fall Surfacing	3750	SF	\$4.00	\$15,000.00
Playground Equipment	1	LS	\$50,000.00	\$50,000.00
Site Amenities				
Basketball goals	4	EA	\$1,500.00	\$6,000.00
Shade Canopy w/ Integrated picnic table (At. 2)	6	EA	\$6,000.00	\$36,000.00
Bench	1	EA	\$760.00	\$760.00
Structural				
Cast-in-Place Concrete				
Continuous Footings	24	CY	\$211.00	\$4,960.61
Spread Footings	9	CY	\$303.00	\$2,668.83
Column Pedestals	3	CY	\$276.00	\$717.60
Floor Slab	592	SF	\$15.00	\$8,880.00
Demolition	592	SF	\$2.50	\$1,450.00
Metals				
HSS 6x4x1/4 Joists	250	LF	\$25.15	\$6,287.50
HSS 6x4x1/4 Beams	150	LF	\$27.00	\$4,050.00
HSS 8x8x5/16 Columns	90	LF	\$27.00	\$2,430.00
Metal Roof Deck	750	SF	\$8.12	\$6,090.00
Architectural				
6" Unit Masonry	2345	SF	\$14.00	\$32,830.00
Native Stone Veneer	180	SF	\$12.00	\$2,160.00
Standing Seam Metal Roofing	774	SF	\$8.00	\$6,192.00
Joint Sealants	1	LS	\$240.00	\$240.00
Install Doors and Frames	4	EA	\$60.00	\$240.00
Door Hardware	4	EA	\$300.00	\$1,200.00
Sealed Concrete Floors	585	SF	\$12.00	\$7,020.00
Sealed Concrete Walls	1580	SF	\$12.00	\$18,960.00
Resilient Base	160	LF	\$1.00	\$160.00
Portland Cement Plaster Finish	1150	SF	\$10.00	\$11,500.00
Painting	2730	SF	\$2.00	\$5,460.00
Toilet Partitions (Accessible)	2	EA	\$1,200.00	\$2,400.00
Toilet Partitions (Standard)	1	EA	\$1,000.00	\$1,000.00
Urinal Screens	1	EA	\$600.00	\$600.00
Signage	4	EA	\$50.00	\$200.00
Grab Bars	4	EA	\$150.00	\$600.00
Toilet Tissue Dispensers	3	EA	\$75.00	\$225.00
Hapkin Disposal	2	EA	\$120.00	\$240.00
Paper Towel Dispensers	2	EA	\$150.00	\$300.00
Soap Dispensers	2	EA	\$75.00	\$150.00
Mirrors	2	EA	\$325.00	\$650.00
Fire Extinguishers	1	EA	\$250.00	\$250.00
Electrical				
Electrical service, basketball court and site lighting	1	LS	\$20,000.00	\$20,000.00
Lighting Panel	1	LF	\$1,800.00	\$1,800.00
Lighting Fixtures	6	EA	\$200.00	\$1,200.00
Light Fixture (poles)	6	EA	\$350.00	\$2,100.00
Light Pole (concrete poles)	8	EA	\$900.00	\$7,200.00
Wall pack light fixtures	2	EA	\$350.00	\$700.00
Electrical Receptacles	4	EA	\$280.00	\$1,120.00
500 KCMIL	1700	LF	\$11.80	\$20,230.00
#10 Wire	600	LF	\$3.50	\$2,100.00
#12 Wire	600	LF	\$3.00	\$1,800.00
3.5" PVC	500	LF	\$5.20	\$2,600.00
1" RMC	200	LF	\$3.85	\$770.00
3/4" RMC	200	LF	\$4.00	\$800.00
Trenching & backfill	700	LF	\$12.00	\$8,400.00
Pullbox	8	EA	\$500.00	\$4,000.00
Timer	1	LS	\$4,800.00	\$4,800.00
Existing conduit removal	1	LS	\$3,000.00	\$3,000.00
Material pickup at storage location	1	LS	\$1,500.00	\$1,500.00
Civil				
8" Sewer Line	810	LF	\$35.00	\$28,350.00
6" Sewer Line	180	LF	\$30.00	\$5,400.00
Manholes	3	EA	\$5,000.00	\$15,000.00
Sewer Cleanout	1	EA	\$500.00	\$500.00
Tap into Sewer Line/Manhole	1	EA	\$1,000.00	\$1,000.00
Trench Safety	990	LF	\$2.00	\$1,980.00
Asphalt Pavement Replacement	195	SY	\$40.00	\$7,800.00
6" Wye Fitting	1	EA	\$500.00	\$500.00
2" Water Meter	1	EA	\$2,700.00	\$2,700.00
2" Water Service Tap w/ Backflow preventer	1	EA	\$1,500.00	\$1,500.00
2" Valve and box	1	EA	\$500.00	\$500.00
Demolition	1	LS	\$3,000.00	\$3,000.00
Mechanical and Plumbing				
Water Closets	3	EA	\$4,500.00	\$13,500.00
Lavatories	2	EA	\$3,500.00	\$7,000.00
Service Sink	1	EA	\$4,500.00	\$4,500.00
Drinking Fountain	1	EA	\$4,500.00	\$4,500.00
Piping, valves, fittings, etc.	1	LS	\$10,000.00	\$10,000.00
Urinal	1	EA	\$4,500.00	\$4,500.00
Louvers	4	EA	\$400.00	\$1,600.00
Unit Heaters	2	EA	\$750.00	\$1,500.00
Exhaust Fan	1	EA	\$950.00	\$950.00
Unitless Lx Split System	1	EA	\$8,500.00	\$8,500.00
Condensate Piping & fittings, etc.	1	LS	\$150.00	\$150.00
SUBTOTALS				\$566,289.00
Area Multiplier				0.80
Tax				\$453,031.22
General Contractor Overhead				8%
General Contractor Profit				7.0%
Bond				1.50%
Contingency				3%
GRAND TOTAL				\$557,944.50



PARKHILLSMITH&COOPER

BUILDING_Opinion of Probable Cost - 6/30/15

City of Socorro Mauro Rosas Park

Socorro, Texas

PSC Job Number: 03.7114.15

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COSTS	EXTENDED COSTS
Landscape				
Site grading	3000	CY	\$5.00	\$15,000.00
Structural				
Cast-In-Place Concrete				
Continuous Footings	24	CY	\$211.00	\$4,960.61
Spread Footings	9	CY	\$303.00	\$2,608.83
Column Pedestals	3	CY	\$276.00	\$717.60
Floor Slab	592	SF	\$15.00	\$8,980.00
Demolition	592	SF	\$2.50	\$1,480.00
Metals				
HSS 6x4x1/4 Joists	250	LF	\$25.15	\$6,287.50
HSS 6x4x1/4 Beams	150	LF	\$27.09	\$4,063.50
HSS 6x5/16 Columns	80	LF	\$27.09	\$2,167.20
Metal Roof Deck	760	SF	\$8.12	\$6,090.00
Architectural				
8" Unit Masonry	2345	SF	\$14.00	\$32,830.00
Native Stone Veneer	180	SF	\$12.00	\$2,160.00
Standing Seam Metal Roofing	774	SF	\$8.00	\$6,192.00
Joint Sealants	1	LS	\$240.00	\$240.00
Install Doors and Frames	4	EA	\$60.00	\$240.00
Door Hardware	4	EA	\$300.00	\$1,200.00
Sealed Concrete Floors	565	SF	\$12.00	\$7,020.00
Sealed Concrete Walls	1580	SF	\$12.00	\$18,960.00
Resilient Base	160	LF	\$1.00	\$160.00
Portland Cement Plaster Finish	1150	SF	\$10.00	\$11,500.00
Painting	2730	SF	\$2.00	\$5,460.00
Toilet Partitions (Accessible)	2	EA	\$1,200.00	\$2,400.00
Toilet Partitions (Standard)	1	EA	\$1,000.00	\$1,000.00
Urinal Screens	1	EA	\$600.00	\$600.00
Signage	4	EA	\$50.00	\$200.00
Grab Bars	4	EA	\$150.00	\$600.00
Toilet Tissue Dispensers	3	EA	\$75.00	\$225.00
Napkin Disposal	2	EA	\$120.00	\$240.00
Paper Towel Dispensers	2	EA	\$150.00	\$300.00
Soap Dispensers	2	EA	\$75.00	\$150.00
Mirrors	2	EA	\$325.00	\$650.00
Fire Extinguishers	1	EA	\$250.00	\$250.00
Electrical				
Electrical service, basketball court and site lighting	1	LS	\$20,000.00	\$20,000.00
Lighting Panel	1	LF	\$1,800.00	\$1,800.00
Lighting fixtures	6	EA	\$200.00	\$1,200.00
Light Fixture (poles)	1	EA	\$360.00	\$360.00
Light Pole (concrete poles)	2	EA	\$900.00	\$1,800.00
Wall pack light fixtures	2	EA	\$350.00	\$700.00
Electrical Receptacles	4	EA	\$280.00	\$1,120.00
500 KCMIL	1700	LF	\$11.90	\$20,230.00
#10 Wire	600	LF	\$3.50	\$2,100.00
#12 Wire	600	LF	\$3.00	\$1,800.00
3.5" PVC	500	LF	\$5.20	\$2,600.00
1" PVC	500	LF	\$3.85	\$1,925.00
3/4" RMC	200	LF	\$4.00	\$800.00
Trenching & backfill	700	LF	\$12.00	\$8,400.00
Pullbox	6	EA	\$500.00	\$3,000.00
Extisting conduit removal	1	LS	\$4,800.00	\$4,800.00
Material pickup at storage location	1	LS	\$3,000.00	\$3,000.00
Civil				
8" Sewer Line	810	LF	\$35.00	\$28,350.00
6" Sewer Line	180	LF	\$30.00	\$5,400.00
Manholes	3	EA	\$5,000.00	\$15,000.00
Sewer Cleanout	1	EA	\$500.00	\$500.00
Tap Into Sewer Line/Manhole	1	EA	\$1,000.00	\$1,000.00
Trench Safety	990	LF	\$2.00	\$1,980.00
Asphaltic Pavement Replacement	195	SY	\$40.00	\$7,800.00
6" Wye Fitting	1	EA	\$500.00	\$500.00
2" Water Meter	1	EA	\$2,700.00	\$2,700.00
2" Water Service Tap/w Backflow preventer	1	EA	\$1,500.00	\$1,500.00
2" Valve and Box	1	EA	\$500.00	\$500.00
Demolition	1	LS	\$3,000.00	\$3,000.00
Mechanical and Plumbing				
Water Closets	3	EA	\$4,500.00	\$13,500.00
Lavatories	2	EA	\$3,500.00	\$7,000.00
Service Sink	1	EA	\$4,500.00	\$4,500.00
Drinking Fountain	1	EA	\$4,500.00	\$4,500.00
Piping, valves, fittings, etc.	1	LS	\$10,000.00	\$10,000.00
Urinal	1	EA	\$4,500.00	\$4,500.00
Louvers	4	EA	\$400.00	\$1,600.00
Unit Heaters	2	EA	\$750.00	\$1,500.00
Exhaust Fan	1	EA	\$950.00	\$950.00
Ductless DX Split System	1	EA	\$8,500.00	\$8,500.00
Condensate Piping & fittings, etc.	1	LS	\$150.00	\$150.00
SUBTOTALS				\$338,237.24
Area Multipliers	0.80			\$270,589.79
Tax				\$21,647.45
General Contractor Overhead	8%			\$27,687.18
General Contractor Profit	7.0%			\$23,679.61
Bond	1.50%			\$5,073.56
Contingency	5%			\$16,911.89
GRAND TOTAL				\$389,880.43